

**INVER GROVE HEIGHTS
PLANNING COMMISSION AGENDA
TUESDAY, JUNE 21, 2022 - 7:00 p.m.
City Council Chambers - 8150 Barbara Avenue**

1. CALL TO ORDER

2. APPROVAL OF THE PLANNING COMMISSION MINUTES FOR JUNE 7, 2022

3. APPLICANT REQUESTS AND PUBLIC HEARINGS

- A.** Consider the following requests for Lot 4, Block 1, Arbor Pointe 11th Addition (Silverstar Car Wash- Case No. 22-20PUD):
 - a. An amendment to the Arbor Point PUD Ordinance to allow a carwash as a permitted use within the CSC, Commercial Shopping Center district; and
 - b. An Amendment to the Arbor Pointe PUD to allow a car wash building on Lot 4, Block 1, Arbor Pointe 11th Addition; and
 - c. An amendment to the Arbor Point PUD Design Manual to allow other accent colors on buildings within commercial districts in the PUD beyond the original green accent color scheme.

4. OTHER BUSINESS

5. ADJOURN

This document is available upon 3 business day request in alternate formats such as Braille, large print, audio recording, etc. Please contact Kim Fox at 651.450.2545 or kfox@ighmn.gov.

PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Tuesday, June 7, 2022 – 7:00 p.m.
City Council Chambers – 8150 Barbara Avenue

1. CALL TO ORDER

Chair Niemioja called the Planning Commission Meeting to order at 7:00 p.m. The Pledge of Allegiance was recited.

Commissioners Present: Elizabeth Niemioja
Dennis Wippermann
Anthony Scales
Jonathan Weber
Robert Heidenreich
Joan Robertson
Kate Challeen
Jaime Besser

Commissioners Absent: Scott Clancy (excused)

Staff Present: Allan Hunting, City Planner
Heather Botten, Associate Planner
Kim Fox, Community Development Specialist

Chair Niemioja congratulated Commissioners Wippermann and Weber for being reappointed to the Commission and welcomed Commissioner Besser.

2. APPROVAL OF THE PLANNING COMMISSION MINUTES FOR MAY 17, 2022:

The Planning Commission Meeting Minutes for May 17, 2022 were approved as submitted.

3. APPLICANT REQUESTS AND PUBLIC HEARINGS:

A. Consider a Variance to create a new parcel without lot frontage at 9250 Arnold Avenue (Dale Suckstorff & Margaret Bailey - Case No. 22-24V).

Reading of Public Notice

Commissioner Weber read the Public Hearing Notice to consider the request for Dale Suckstorff and Margaret Bailey – Case No. 22-24V. The request involves property located at 9250 Arnold Avenue and consists of a variance to create a new lot without road frontage accessed by a shared driveway. Notices were mailed to 7 property owners on May 25th, 2022.

Presentation of Request

City Planner Allan Hunting discussed the site located at the end of Arnold Avenue. The applicant proposes dividing their parcel into two lots on their 9.8-acre property. There is an existing house on the lot. The new lot would be a little over 2.5 acres with the other lot being approximately 7 acres. The configuration would not have any frontage but still has to meet a lot width of at least 200 feet where a building site would be. Staff believes this to be a reasonable request, it is in an area of the city that had been developed over time. The Building Inspector has looked at their soil boring information and determined the area to be suitable for a septic system. Lot B would

create their own separate driveway for the lot as the existing lot has a driveway along the west boundary which would remain. An easement would be needed over Lot B for access. Staff believes this to be a reasonable request and recommends approval as presented.

Chair Niemioja questioned the rule for the Fire Marshal and the purpose of the 30 feet. She asked if not having a separate driveway was a concern.

Mr. Hunting replied they were trying to make sure each lot had its own. He replied about the separate driveway stating there is an existing driveway, the other lot would have its own new shorter driveway.

Opening of Public Hearing

Dale Suckstorff, 9250 Arnold Avenue, stated this request was an option for them to downsize and still live on the property they really like. He said he has read and understands the report.

Commissioner Robertson questioned the long narrow extension from Lot B going up.

Mr. Suckstorff replied there is water (lake) in the back, this gives the new lot access to the water. They plan to live on Lot B.

Commissioner Robertson asked if those on Lot A would have access to the lake.

Mr. Suckstorff replied in the affirmative.

Chair Niemioja closed the public hearing.

Planning Commission Recommendation

Motion by Commissioner Weber, second by Commissioner Wippermann, to approve the variance to create a new parcel without lot frontage at 9250 Arnold Avenue (Dale Suckstorff & Margaret Bailey - Case No. 22-24V) with the three conditions listed and using the two practical difficulties listed.

Motion carried (8/0). This item will go before the City Council on June 27th, 2022.

B. Consider a Variance from the minimum lot size and width requirements for a lot split on the property located at 6325 Dawn Avenue (Kinetic Capital, LLC - Case No. 22-22V).

Reading of Public Notice

Commissioner Weber read the Public Hearing Notice to consider the request for Kinetic Capital, LLC - Case No. 22-22V. The request includes property located at 6325 Dawn Avenue and consists of a variance from minimum lot size and width requirements for a lot split and any related variances. Notices were mailed to 7 property owners on May 25th, 2022.

Presentation of Request

Associate Planner Heather Botten discussed the request for property located at 6325 Dawn Avenue between 63rd and 64th Street, zoned R-1C, Single Family Residential District. The lot is 18,000 square feet in size and 60 feet in width. The lot abuts Dawn Avenue to the east and Dawn Way to the west. The applicant would like to split the property in half creating two lots that would be 9,000 square feet in size and 60 feet in width. A variance is needed due to the

minimum lot size being 12,000 square feet for lot size and 85 feet for lot width. If the variances are approved, the applicant would have to come in for an administrative subdivision which is handled at the staff level. The property was originally platted in 40-foot lots in 1887. Over time lot boundaries changed with them now being an average of 60 to 75 feet. An alleyway was vacated on the property. Staff determined that around 1978 the lots were combined and consolidated into one tax number/PID Number. When that took place, they lost grandfathering rights to build any kind of house on the western side. The proposed lot size and width are similar to other lots in the neighborhood. There is a small shed on the property that would have to be moved two feet over to the east to comply with the new rear yard lot line. City water and sewer is available to the property. The property is unique because it was two tax parcels at one time. The lots comply with the 70% rule for existing lots of record. The request is not out of character with the neighborhood and is consistent with the comprehensive plan designation of low density residential. The request does not seem to have any adverse impacts on neighboring properties. Staff recommends approval of the variances with the four conditions listed. She mentioned that staff heard from one neighbor who submitted an email; once the report was read, he was supportive. One phone call and one couple came in to inquire; once finding out the intent of the request there were no issues.

Commissioner Weber asked if the entire alleyway was vacated.

Ms. Botten replied it was not. It was only vacated between these two parcels.

Motion by Commissioner Robertson, second by Commissioner Scales, to add the most recent email received to the public record.

Motion carried (8/0).

Opening of Public Hearing

Lauren Beaudoin, 10820 Birch Lane, Woodbury, said she has read and understands the report.

Commissioner Robertson asked if the row of trees were on Parcel B (existing lot), or if they would be a part of the new lot.

Ms. Beaudoin replied the trees are on the back end of Parcel A and would stay depending on where the house would go.

Chair Niemioja questioned if there would be a problem moving the shed on Parcel B.

Ms. Beaudoin replied it should not be a problem.

Chair Niemioja closed the public hearing.

Planning Commission Recommendation

Motion by Commissioner Robertson, second by Commissioner Challeen, to approve the request for a variance from the minimum lot size and width requirements for a lot split on property located at 6325 Dawn Avenue (Kinetic Capital, LLC - Case No. 22-22V) with the conditions listed and the practical difficulty of reverting back to the previous formation.

Motion carried (8/0). This item will go before the City Council on June 27th, 2022.

C. Consider a Variance to allow signs within the setback requirements on the property located at 5590 Babcock Trail (Ron Clark Construction - Case No. 22- 25V).

Reading of Public Notice

Commissioner Weber read the Public Hearing Notice for Ron Clark Construction - Case No. 22-25V. The request involves property located at 5590 Babcock Trail and consists of a variance to allow two freestanding signs where one is the maximum, and to allow the signs within the required setback areas. Notices were mailed to 5 properties owners on May 25th, 2022.

Presentation of Request

City Planner Allan Hunting mentioned that the site location for Babcock Apartments is Upper 55th and Babcock Trail, next to the existing Church. Two variances are needed. The applicant proposes relocating the existing sign for the Church because it is right in the middle of where the new driveway would go in. They also want to have a new sign for the apartment building. He mentioned that the apartment building doesn't have any frontage area to put a sign showing the entrance point. One of the variances is to have two free standing signs on the Church property, which is zoned P - Institutional, the other is for setbacks. The Church sign would be moved to the west on the property line and have a zero setback from the front where 10 feet is required. The other sign would be 10 feet from the property line with a two-foot setback from the east boundary where 10 feet is required. Separate signs were wanted with both projects so there would be no confusion on them being related or that they were tied to one another. Staff suggested the signs be staggered for better visibility. Staff believes there is rationale because one sign had to be moved, the odd configuration of the lot, and having separation between uses so there is no confusion. The staff report includes criteria for a practical difficulty. Staff believes the request meets the criteria and recommends approval of both variance requests for the two signs.

Chair Niemioja referenced how the road curves stating visibility for the zero setback is helpful.

Commissioner Weber asked if the signs were varied in terms of height.

Mr. Hunting replied the proposed signs would meet all size and height requirements for both zoning districts. The height of both signs were the same. The applicant may have further information on sign design.

Commissioner Weber questioned if the tree located near the fire station was going to be removed due to the sign placement.

Mr. Hunting assumed the sign would be under the tree canopy. The applicant would have further information.

Commissioner Robertson asked if the new driveway coming off of Upper 55th would be shared between the Church and apartment building.

Mr. Hunting replied in the affirmative.

Commissioner Robertson questioned if there was a separate fire entrance for the apartments.

Mr. Hunting replied that he was aware the Fire Marshal looked at it, but was unsure what the determination was.

Opening of Public Hearing

Mike Roebuck, Ron Clark Construction, 16431 Highland Circle, Lakeville, has read and understands the report.

Commissioner Robertson asked if there was discussion about a need for a second entrance for fire.

Mr. Roebuck replied access was looked at directly behind the fire station, the Fire Marshal and Fire Chief determined it wasn't required. They did have to prove the radius in the parking lot worked for fire trucks.

Commissioner Weber asked if there were varying sign heights or if they would be the same.

Mr. Roebuck replied the Church was looking to reuse their existing sign, which is about 8 feet to the top with a 4-foot base. Their own sign is longer and lower. The heights would vary.

Chair Niemioja closed the public hearing.

Planning Commission Recommendation

Motion by Commissioner Scales, second by Commissioner Wippermann, to approve the variance for property located at 5590 Babcock Trail (Ron Clark Construction - Case No. 22- 25V), to allow two free standing signs on the property, subject to the one condition with the listed practical difficulty and the variance to allow one sign with a zero setback from the front property line where 10 feet is required. With the one listed condition, the practical difficulty as listed, and the two-foot setback from the side yard.

Motion carried (8/0). This item will go before the City Council on June 27th, 2022.

D. Consider a Conditional Use Permit to allow for a manufacturing use within the existing building located at 6286 Claude Way (Dashfire, LLC - Case No. 22-26C).

Commissioner Weber read the Public Hearing Notice for a request by Dashfire, LLC - Case No. 22-26C. The request is for property located at 6286 Claude Way and consists of a conditional use permit to allow a manufacturing use in an existing building and any related variances. Notices were mailed to 6 property owners on May 25th, 2022.

Presentation of Request

Associate Planner Heather Botten presented the request for property located on the east side of Claude Way in I-1 zoning - Limited Industrial. The applicant requests a conditional use permit to allow manufacturing within the southern portion of the existing building. The applicant is a micro distillery with a focus on the production of bitters, spirits, and ready to drink cocktails. They handle manufacturing, bottling, and canning of the products. The site is 4.16 acres in size and connected to city utilities which can accommodate this use. The applicant is not proposing any building additions and is not planning on changing the parking lot or impervious surface on the property. The request complies with the conditional use permit requirements and the use is consistent with the comprehensive plan. The applicant has been working with the Fire Marshal and the Building Official to be in compliance with all building and fire code requirements for the interior remodel of the site. Noises would not be inconsistent with the industrial zoning. Staff recommends approval of the CUP with the four conditions listed. Staff has not heard from any of the surrounding property owners.

Opening of Public Hearing

Lee Egbert, 354 Saratoga Street South, St. Paul, said he has read and understands the report.

Chair Niemioja closed the public hearing.

Planning Commission Recommendation

Motion by Commissioner Weber, second by Commissioner Heidenreich, to approve the Conditional Use Permit to allow the manufacturing use within the southern portion of the existing building located at 6286 Claude Way (Dashfire, LLC - Case No. 22-26C) with the four conditions listed.

Motion carried (8/0). This item will go before the City Council on June 27th, 2022.

4. OTHER BUSINESS

A. Elections

Chair Niemioja took nominations for the Planning Commissions Elections.

Commissioner Wippermann nominated Elizabeth Niemioja for the position of Chair. Second by Commissioner Scales.

Motion carried (8/0).

Commissioner Weber nominated Commissioner Tony Scales for the position of Vice Chair. Second by Commissioner Robertson.

Motion carried (8/0).

Commissioner Scales nominated Commissioner Jonathan Weber for the position of Secretary. Second by Commissioner Heidenreich.

Motion carried (8/0).

Chair Niemioja reminded the Commission of the picnic taking place on the 20th at the Swing Bridge. City Planner Hunting requested the Commission make sure to RSVP for the picnic.

Chair Niemioja mentioned there would be a quorum for the July 5th meeting. Commissioner Weber and herself would not be in attendance. City Planner Hunting mentioned there is one item scheduled for a cut off to be at that meeting.

Commissioner Robertson asked if summer availability had been discussed with Commissioners. Chair Niemioja asked Community Development Specialist Kim Fox if she has heard from the Commissioners about the days they would be gone. Community Development Specialist Fox replied that she believed she has and does not recall a lot of people being gone the same day.

5. ADJOURN

Motion to adjourn the Planning Commission Meeting by Commissioner Weber at 7:41 p.m.

Respectfully submitted, Sheri Yourczek, Recording Secretary



PLANNING REPORT

CASE NO.: 22-20PUD

APPLICANT: Silverstar Car Wash

PROPERTY OWNER: Midwest Fidelity Partners, LLC

REQUEST: Arbor Pointe PUD and Ordinance Amendment

LOCATION: Corner of Broderick and Concord Blvd

HEARING DATE: June 21, 2022

REVIEWING DIVISIONS: Planning
Engineering

PREPARED BY: Allan Hunting

SPECIFIC REQUEST

The applicant is requesting the following:

1. Amendment to the Arbor Pointe PUD Ordinance #789 to allow Car Wash, Drive Thru & Self Serve as a permitted use within the CSC, Community Shopping Center District.
2. A PUD Site Plan Amendment to allow for a car wash on the vacant lot.
3. An Amendment to the Arbor Pointe Design Manual to allow other accent colors on buildings beyond the Arbor Pointe palette.

BACKGROUND

Applicant is proposing to develop the vacant site between the Holiday gas station and Discount Tire with a self serve car wash. The site would have one access for entrance and exit from the internal private circulation and would have 3 stacking bays leading to one automated car wash bay. The site would also have 17 self-service vacuuming and cleaning parking stalls.

This site was part of a larger project approval that occurred in 1999. It was part of Arbor Pointe 11th Addition. This particular site was shown to be a future strip retail building of approximately 9,000 square feet and parking on the balance of the lot. The proposed car wash building would be approximately 4,300 square feet and parking on balance of lot.

EVALUATION OF THE REQUEST

The following land uses, zoning districts and comprehensive plan designations surround the subject property:

North - Convenience gas station; zoned CSC; guided Commercial.
East - Commercial building; zoned CSC; guided Community Commercial
West - Automotive tire store; zoned CSC; guided Community Commercial.
South - Concord Blvd.

ORDINANCE AMENDMENT

The property is governed by the Arbor Pointe Planned Unit Development. It was approved with a master land use plan and ordinance. Each area was zoned a particular land use based on the plan. In this case, this parcel has been designated CSC since the PUD was approved in 1992. Any change to a land use requires an amendment to the Arbor Pointe Ordinance. The land use table for the CSC district currently allows car washes as an accessory use to a principle use. The ordinance would require amending to allow a car wash as a permitted use. Car wash would be typical use found in commercial districts and so would seem reasonable to add this use to the Arbor Pointe ordinance.

PUD DEVELOPMENT PLAN AMENDMENT

Setbacks. The proposed building exceeds the minimum setbacks of 40 feet from either Concord or Broderick. The Arbor Pointe PUD does not have any internal setback requirements.

Parking. The code requires five stacking spaces for each washing lane plus one for each employee. The plan is designed with three stacking lanes, each with space for five cars stacked. There are six parking spaces for employees. The site exceeds parking requirements.

Exterior. The applicant is proposing the building with precast concrete panels and glass. Main color scheme would be gray and red. Commercial development in Arbor Pointe has been required to contain an accent color of green in any awnings or other architectural elements. During the approvals of the Inver Grove Brewery building remodel, the council had some discussion regarding the continued need of requiring green accent. The commercial district in Arbor Pointe is now over 20 years old and there have been remodels on some of the buildings. To continue to allow flexibility for commercial operators to utilize their own color schemes, staff is recommending the Design Manual that regulates color be modified to remove the need for the green accent color.

Landscaping. Proposed landscape plan identifies 13 overstory trees planted along the internal boundary between the site and tire store to the west and along Broderick Boulevard. Code requires a minimum of 10 trees to be planted. Additional shrub plantings are proposed around the building and additional shrub plantings are proposed along Broderick to provide some screening from the vacuum station parking stalls. Plan complies with landscape standards.

Rooftop Equipment. The plans do not show any roof top equipment but if any is proposed or shown on the final building plans, the equipment is required to be reasonably screened from view.

Parking Lot and Building Lighting. The applicant has provided a lighting illumination plan and illustrations of the building and parking lot lighting. The fixtures are a flat lens slightly recessed into the fixture which complies with code requirements. The illumination plan needs to be amended to identify the illumination out the centerline of both Broderick and Concord to verify maximum illumination is not exceeded. A revised plan to be submitted and reviewed prior to city council action on this request.

ALTERNATIVES

A. Approval. If the Planning Commission finds the application to be acceptable, the following action should be taken:

- o Approval of An **Ordinance Amendment** to the Arbor Pointe PUD Ordinance #789 to allow Car Wash, Drive Thru & Self Serve as a permitted use within the CSC, Community Shopping Center District.
- o Approval of the **PUD Development** Plan Amendment to allow a car wash on Lot 4, Block 1, Arbor Pointe 11th Addition subject to the following:

1. The final plat and accompanying site plans shall be in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below.

Site Plan	dated 5/23/22
Grading Plan	dated 5/23/22
Erosion Control Plan	dated 5/23/22
Landscape Plan	dated 5/23/22
Elevation Plans	dated 3/4/22
Lighting Illumination Plan	dated

2. Prior to city council review, a revised lighting illumination plan shall be submitted to verify compliance with maximum allowed illumination carried out to the centerline of both Broderick and Concord Boulevards.
 3. Plans and approvals are subject to the review and approval by the City Engineer.
 4. Sign permits are required for all wall and free standing signs.
- o Approval of An **Amendment** to the Arbor Pointe Design Manual to allow other accent colors on buildings beyond the Arbor Pointe palette.

B. Denial. If the Planning Commission finds issues with the ordinance, a recommendation of denial should be made or specify recommended changes to the ordinance.

RECOMMENDATION

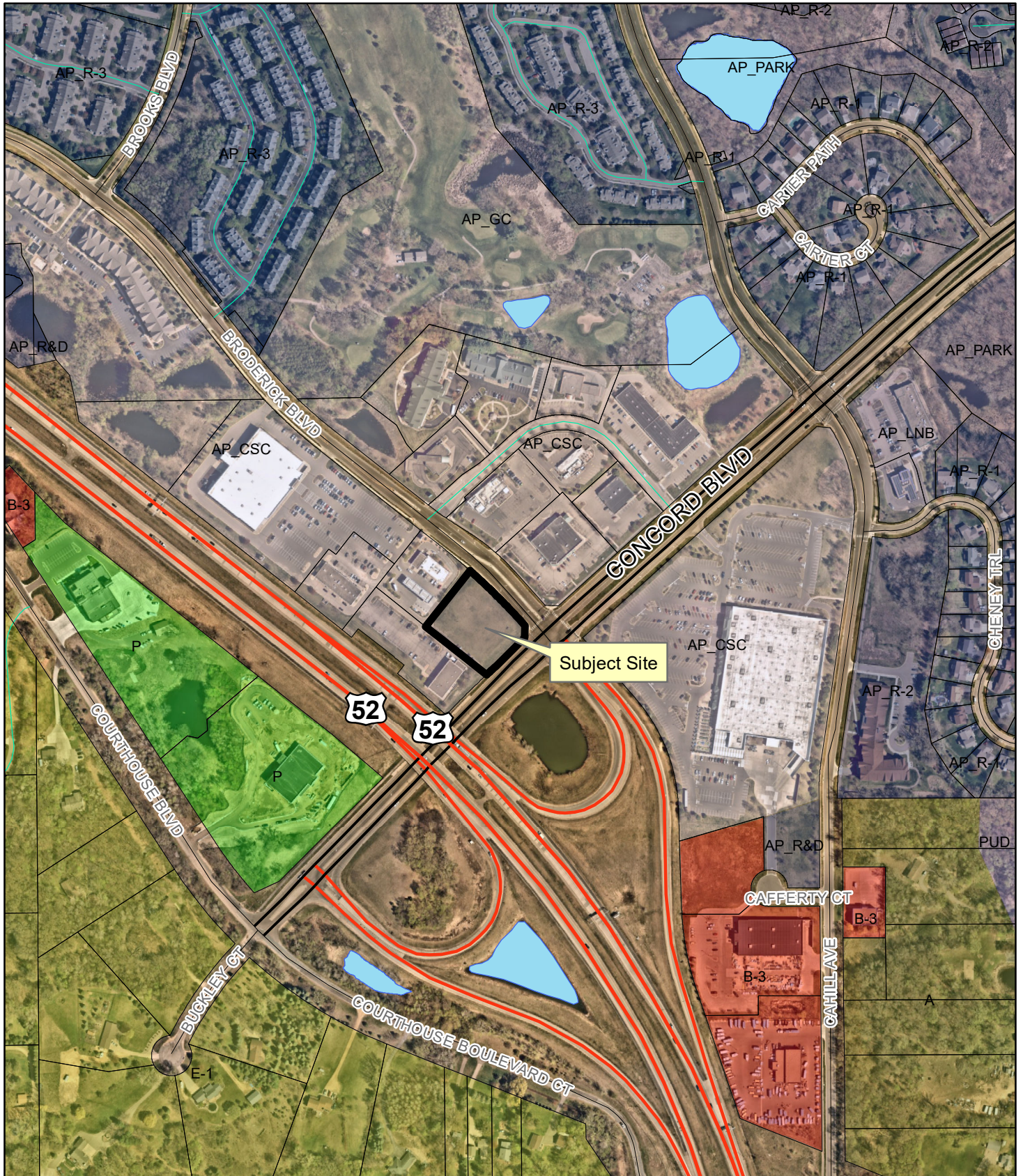
Planning staff recommends approval of the three requests with the conditions listed.

ATTACHMENTS: Location Map
 Narrative
 Site Plan
 Grading Plan
 Erosion Control Plan
 Landscape Plan
 Elevation Plans
 Lighting Illumination Plan



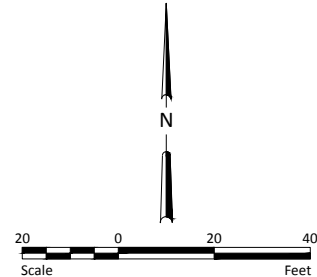
Location Map

Case No. 22-20PUD



Silverstar Car Wash (Silverstar), founded in 2010, is a premier Midwest car wash chain with locations in South Dakota, North Dakota, and Iowa. Our Mission is to provide the customer with the Silverstar Advantage, offering a high-quality car wash that is quick and convenient. Our vision is to be the customer's first choice for a car wash, providing a consistent experience while bettering our employees and the community.

Silverstar is seeking a Zoning Code Amendment to construct their signature car wash at a site in Inver Grove Heights known as Arbor Pointe 11th Addition, Lot 4 Block 1. The proposed car wash site consists of three drive lanes to enter the car wash; the kiosk lane where patrons are greeted by a customer service associate, the lane for the Unlimited Pass customers, and a bypass lane. Upon entering the car wash, cars get cleaned using state-of-the-art wash equipment and dried with high-powered dryers upon exit. Outside the building is a row of vacuums and parking areas.

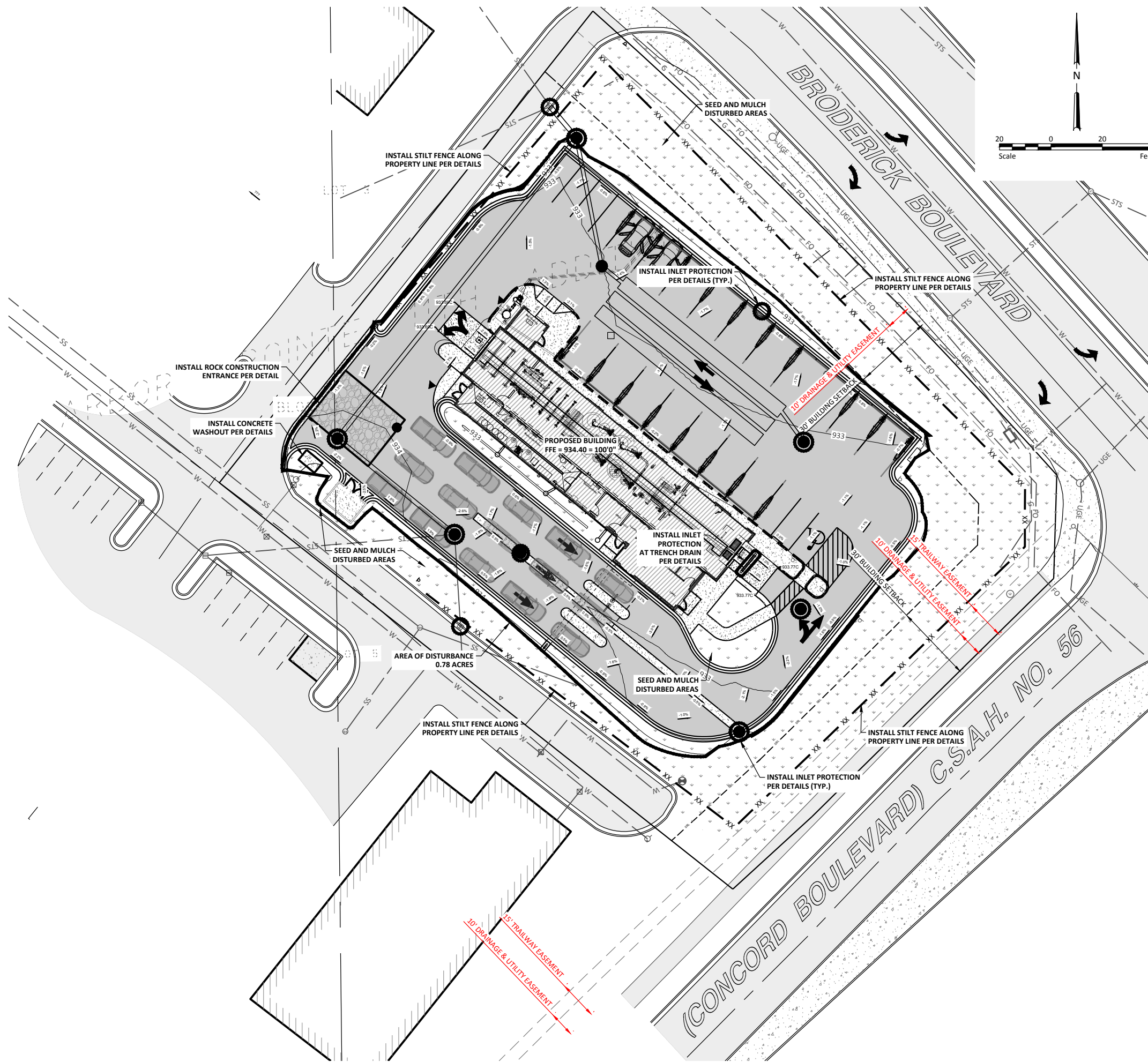


GRADING NOTES:

1. ALL SIDEWALKS SHALL HAVE A MAXIMUM 2% CROSS SLOPE AND LONGITUDINAL SLOPE OF 5% EXCEPT CURB RAMPS WHICH SHALL HAVE A MAXIMUM SLOPE OF 1:12; REFER TO DETAIL.
2. ALL CURB RAMPS SHALL HAVE DETECTABLE WARNING PANELS INSTALLED.
3. ALL WORK DONE IN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF INVER GROVE STANDARD SPECIFICATIONS.
4. ALL HANDICAPPED STALLS SHALL HAVE SIGNING INSTALLED PER DETAILS.
5. ALL HANDICAPPED STALLS SHALL BE STRIPED PER DETAIL.
6. EXCAVATION OR OTHER WORK IN THE RIGHT OF WAY SHALL REQUIRE A TRAFFIC CONTROL PLAN THAT MEETS ALL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REQUIREMENTS. THIS PLAN IS REQUIRED BEFORE ANY PERMITS TO WORK IN THE RIGHT OF WAY WILL BE ISSUED.
7. BUILDING HAS MULTIPLE FINISHED FLOOR ELEVATIONS. REFER TO ARCHITECTURAL & STRUCTURAL PLANS FOR DETAILS
8. FINISHED FLOOR ELEVATION AT NORTH TUNNEL ENTRANCE SHALL BE AT 934.36 MINIMUM PER GRADING PLAN.
9. BUILDING FINISH FLOOR ELEVATION SHOWN (100'0" ARCHITECTURAL ELEVATION) IS THAT OF THE LOBBY & MECHANICAL ROOM AREAS. FINISH FLOOR OF THE TUNNEL VARIES FROM ENTRANCE TO EXIT. TUNNEL FLOOR SHALL SLOPE UP FROM ENTRANCE AT A RATE OF ¼" PER 10' TOWARDS THE TUNNEL EXIT. TUNNEL EXIT FFE SHALL BE 934.66.

PRELIMINARY
Not for Construction

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LEGEND

WATER MAIN
SANITARY SEWER MAIN
STORM SEWER MAIN
STORM INLET
SANITARY MANHOLE
STORM MANHOLE
FIRE HYDRANT
GATE VALVE
AC UNIT
GAS METER
TRANSFORMER
UNDERGROUND FIBER OPTIC

EXISTING
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DECIDUOUS TREE
SIGN
GUARD POST
GUARD RAIL
SPOT ELEVATION
STANDARD CURB & GUTTER
MOUNTABLE CURB & GUTTER
CURB & INVERTED GUTTER

FO
X=897.155

BUILDING

NEW 4" CONCRETE

NEW 5" CONCRETE

NEW 8" HEATED CONCRETE

NEW 12" MEDIAN ISLAND CONCRETE

THICKENED EDGE SIDEWALK

DRAINAGE DIRECTION
IRON MONUMENT FOUND
IRON MONUMENT SET

LEGEND

SILT FENCE

XX XX

INLET PROTECTION

BIOROLL

SEED AND MULCH

CONSTRUCTION ENTRANCE

SWPPP NOTES:

1. THE CONTRACTOR SHALL INSTALL INLET PROTECTION AND ROCK CONSTRUCTION ENTRANCE PRIOR TO BEGINNING SITE WORK.
2. THE CONTRACTOR SHALL INSTALL PERIMETER CONTROL AROUND DISTURBED AREAS AND LIMIT ACCESS TO THE ROCK CONSTRUCTION ENTRANCE.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY SOIL STABILIZATION MEASURES SUCH AS COVER CROPS, EROSION CONTROL BLANKETS, MULCH, ETC. AS NEEDED WHEN AREAS ARE NOT ACTIVELY BEING WORKED AND WILL NOT BE DISTURBED FOR A PERIOD OF GREATER THAN 14 DAYS. THIS INCLUDES STOCKPILED SOIL.
4. IF SITE WORK OR GRADING ACTIVITIES ARE STOPPED OVER THE WINTER DUE TO COLD WEATHER THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL STABILIZATION MEASURES PRIOR TO STOPPING WORK DUE TO COLD WEATHER.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY OR PERMANENT SOIL STABILIZATION TO AREAS THAT HAVE BEEN FINISH GRADED WITHIN 14 DAYS OF THE COMPLETION OF WORK.
6. STORM SEWER INLETS WILL BE PROTECTED AT ALL TIMES WITH APPROPRIATE INLET PROTECTION AND SHALL BE INSTALLED PRIOR TO DISTURBANCE IN THAT AREA.
7. MULTIPLE APPLICATIONS OF TEMPORARY SOIL STABILIZATION MEASURES SHOULD BE ANTICIPATED BY THE CONTRACTOR.
8. TEMPORARY MULCHING AND PERMANENT SEEDING SHALL CONFORM TO THE CITY OF INVER GROVE STANDARD SPECIFICATIONS. AREAS TO BE SEEDED SHALL BE SEEDED WITH A TYPE B SEED MIXTURE AND SHALL HAVE TYPE 1 (HYDRO MULCH) APPLIED PER THE SPECIFICATIONS.
9. THE CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE AND PHASE THE CONSTRUCTION TO MINIMIZE THE AMOUNT OF OPEN DISTURBED SOIL AS PRACTICAL.
10. THIS PLAN SHOWS THE TYPE AND GENERAL PLACEMENT OF SEDIMENT AND EROSION CONTROL MEASURES. NOT EXACT PLACEMENT.
11. THE CONTRACTOR SHALL MODIFY THE SWPPP AS NEEDED TO PREVENT DISCHARGE OF SEDIMENT FROM THE SITE, THIS INCLUDES DUST, RUNOFF FROM THE CONCRETE WASH WATER, AND RUNOFF FROM SAW CUTTING OF CONCRETE.
12. THE CONTRACTOR SHALL MAINTAIN AND UPDATE THE SWPPP AS NEEDED TO ENSURE THAT THE SITE CONDITIONS MATCH WHAT IS SHOWN ON THE SWPPP DOCUMENTS.
13. TYPE C INLET PROTECTION INSTALLED IN CITY OF FARGO RIGHT OF WAY SHALL BE WIMCO, LANGE IPD, FLEXSTORM, OR APPROVED EQUIVALENT PER CITY OF FARGO STANDARD SPECIFICATIONS.
14. EXCAVATION OR OTHER WORK IN THE RIGHT OF WAY SHALL REQUIRE A TRAFFIC CONTROL PLAN THAT MEETS ALL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REQUIREMENTS. THIS PLAN IS REQUIRED BEFORE ANY PERMITS TO WORK IN THE RIGHT OF WAY WILL BE ISSUED.

PRELIMINARY
Not for Construction

SILVERSTAR CARWASH
XXXX BRODERICK BOULEVARD
INVER GROVE HEIGHTS

EROSION CONTROL PLAN



Drawn By
AMZ

Checked By
PM

Date
5-23-2022

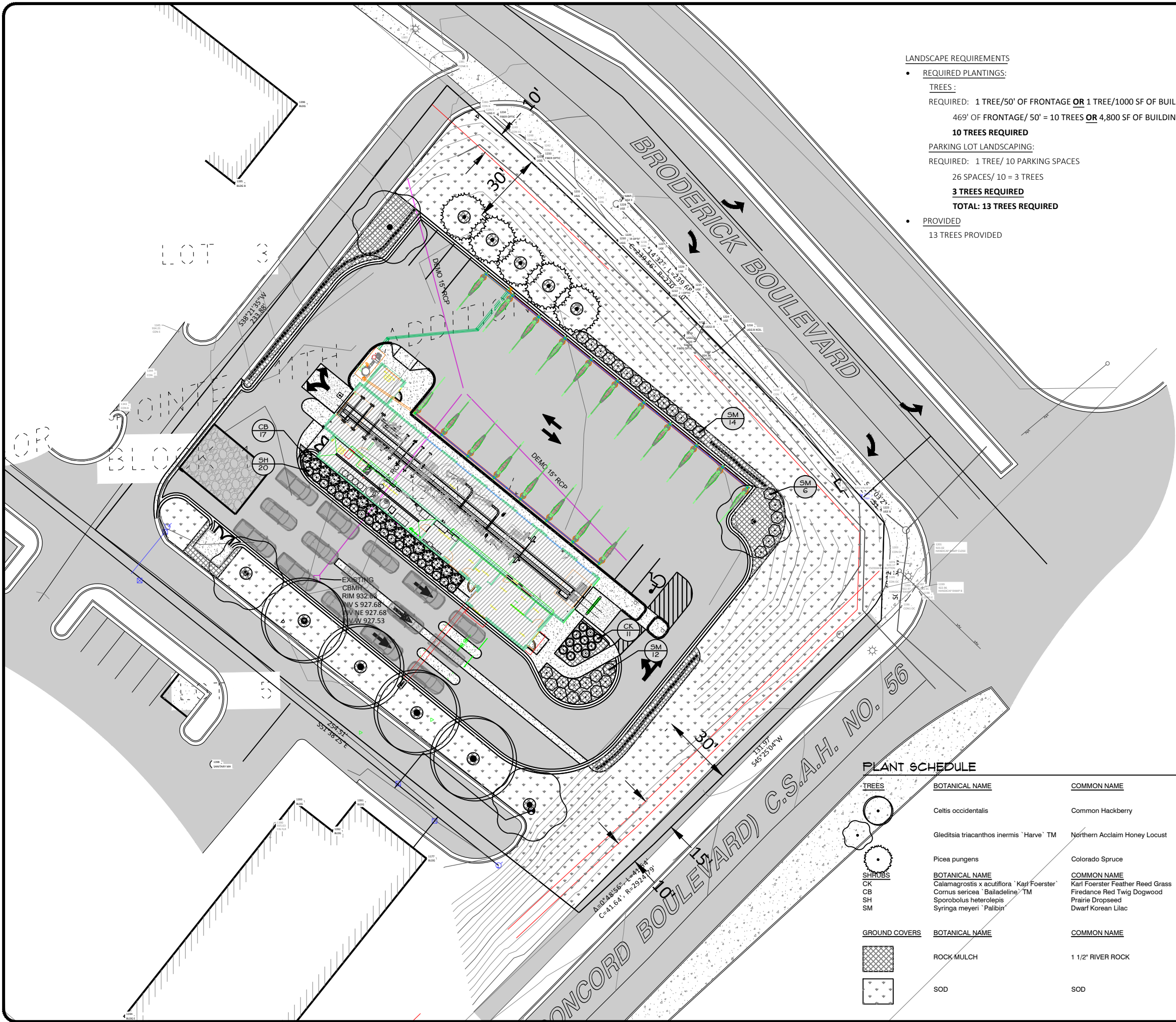
Scale

As Shown

Project No.
10300-0011

SHEET
C7.0

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LANDSCAPE REQUIREMENTS

REQUIRED PLANTINGS:

TREES :

REQUIRED: 1 TREE/50' OF FRONTAGE **OR** 1 TREE/1000 SF OF BUILDING WHICHEVER IS GREATER
469' OF FRONTAGE/ 50' = 10 TREES **OR** 4,800 SF OF BUILDING/1,000 = 5 TREES

10 TREES REQUIRED

PARKING LOT LANDSCAPING:

REQUIRED: 1 TREE/ 10 PARKING SPACES

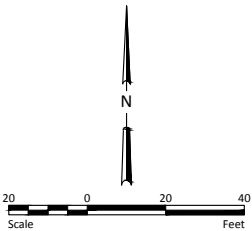
26 SPACES/ 10 = 3 TREES

3 TREES REQUIRED

TOTAL: 13 TREES REQUIRED

PROVIDED

13 TREES PROVIDED



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	Celtis occidentalis	Common Hackberry	2.5" Cal.	4		
	Gleditsia triacanthos inermis `Harve` TM	Northern Acclaim Honey Locust	2.5" Cal.	4		
	Picea pungens	Colorado Spruce	6` Ht.	5		
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
OK	Calamagrostis x acutiflora `Karl Foerster`	Karl Foerster Feather Reed Grass	2 gal.	11		
CB	Cornus sericea `Balladeline` TM	Firedance Red Twig Dogwood	2 gal.	17		
SH	Sporobolus heterolepis	Prairie Dropseed	2 gal.	20		
SM	Syringa meyeri `Palibin`	Dwarf Korean Lilac	2 gal.	32		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
	ROCK MULCH	1 1/2" RIVER ROCK	MULCH		3,497 sf	
	SOD	SOD	SOD		18,446 sf	

SILVERSTAR CARWASH
XXXX BRODERICK BOULEVARD
INVER GROVE HEIGHTS

LANDSCAPE PLAN



Drawn By
AMZ

Checked By
PM

Date
3-24-2022

Scale

As Shown

Project No.
10300-0007

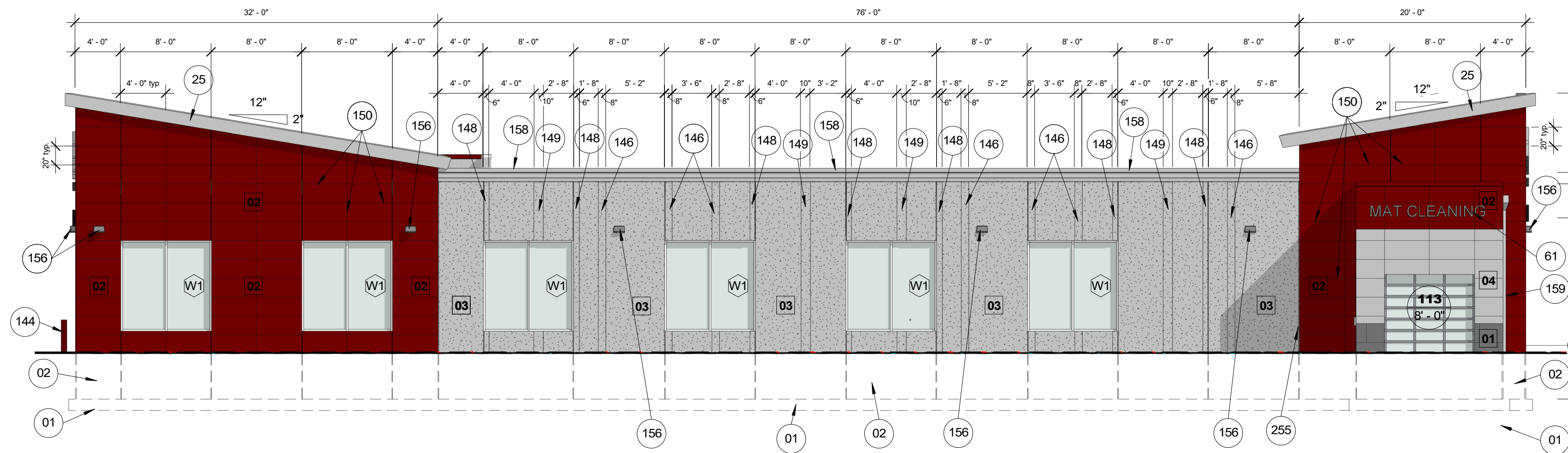
SHEET
C8.0

Revision

No.

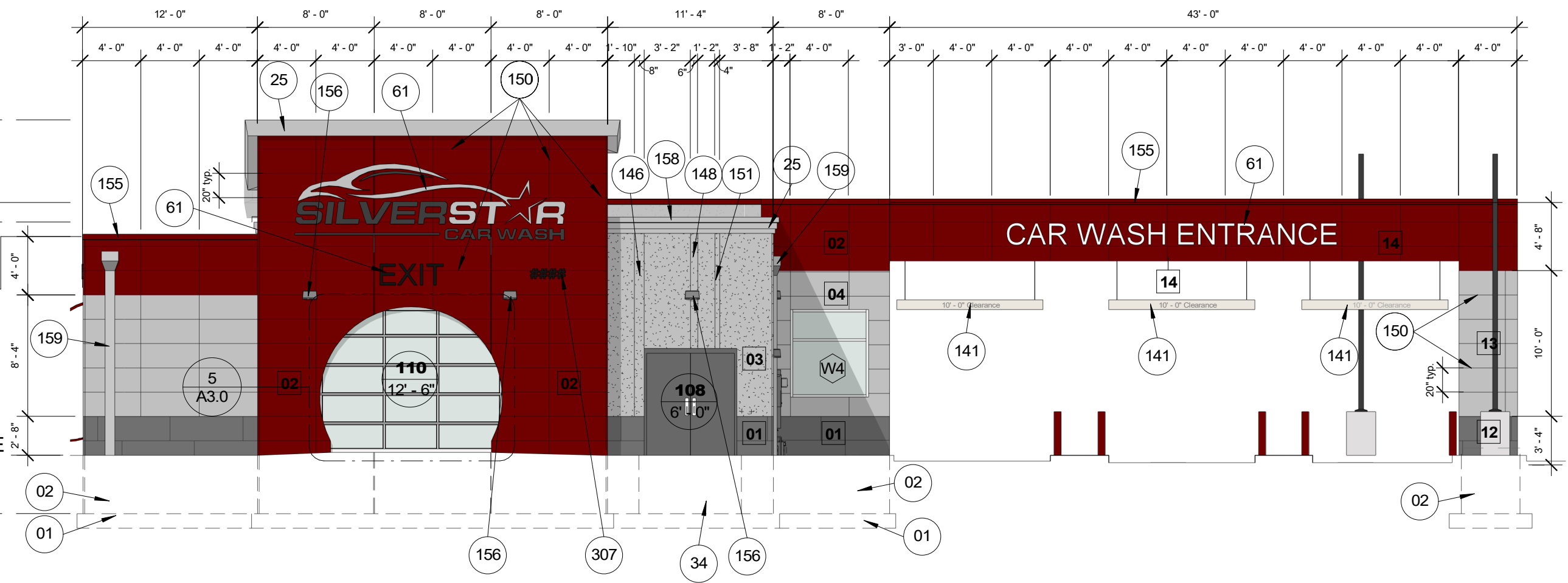
Date

By



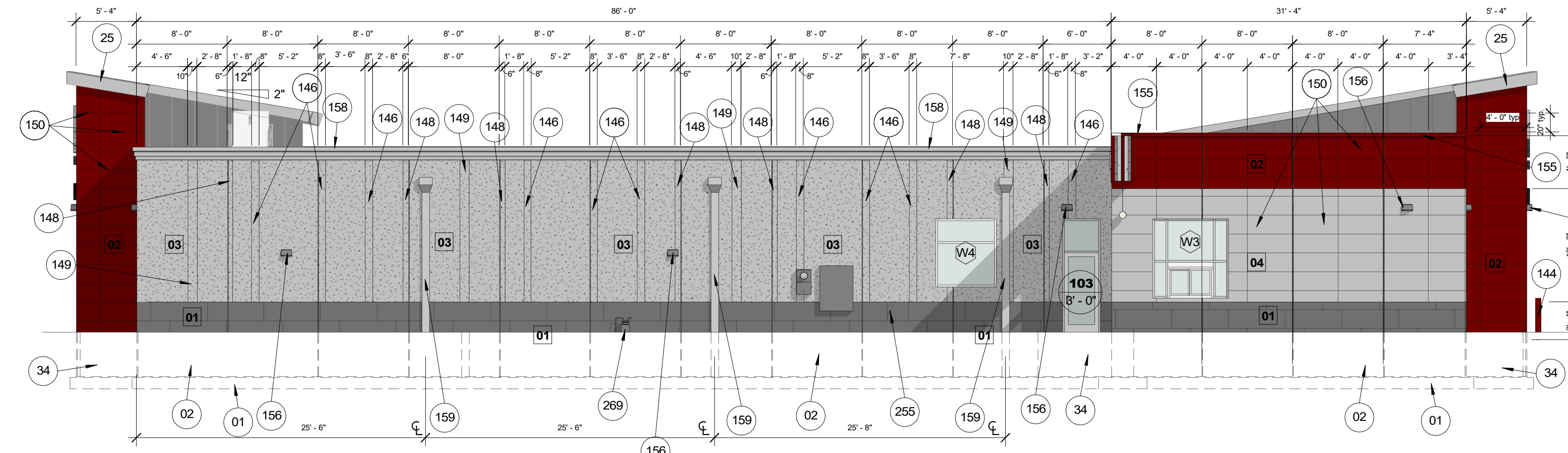
1 North Elevation

Scale: 1/8" = 1'-0"



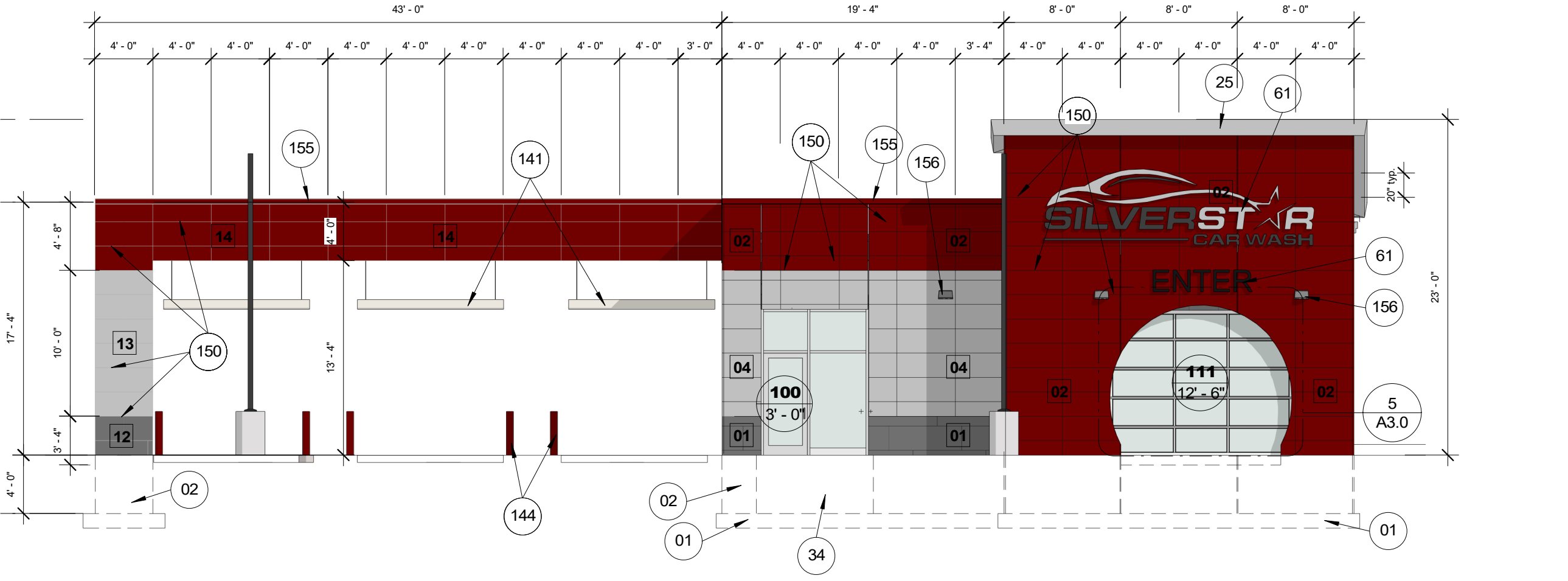
3 West Elevation

Scale: 1/8" = 1'-0"



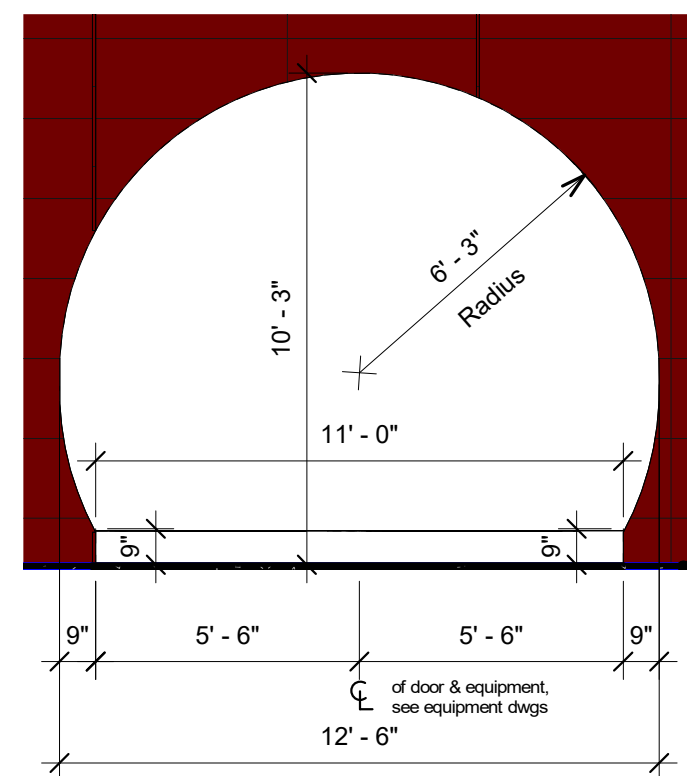
2 South Elevation

Scale: 1/8" = 1'-0"



4 East Elevation

Scale: 1/8" = 1'-0"



5 Tunnel Entrance/Exit Typ.

Scale: 1/4" = 1'-0"

Plan Notes

- 01 Poured concrete footing. See struct.
- 02 Precast panel extend to footing. See struct.
- 25 Prefinished metal parapet cap w/ blocking over exterior built-up fascia. Silver metallic finish.
- 34 Poured concrete stoop. See struct.
- 61 Signage by Owner. Provide power & blocking as required. Coordinate w/ Owner for power, size & location.
- 141 Clearance bar by owner, G.C. to coordinate.
- 144 Concrete filled steel pipe bollard. Paint red to match precast panels.
- 146 8" precast reveal. Final design by precast mfr.
- 148 6" precast reveal. Final design by precast mfr.
- 149 10" precast reveal. Final design by precast mfr.
- 150 Precast reveal. Final design by precast mfr.
- 151 4" precast reveal. Final design by precast mfr.
- 155 Prefinished metal parapet cap. Install blocking as required. Match red paint.
- 156 Exterior light fixture. See electrical plans for location & mounting height.
- 158 Prefinished metal parapet cap. Install blocking as required. Match silver metallic finish.
- 159 Prefinished aluminum scupper & rectangular open faced downspout w/ silver metallic finish. Downspout 6" min. Tie into underground collection system. See civil plans.
- 255 Wall mounted water spigot. See mechanical plans.
- 269 Gas meter. See mechanical.
- 307 8" tall address numbers. Verify final location & height w/ local fire department.

General Notes:

01. Provide 'W' style GWB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
02. Provide W.R. GWB in all bathroom areas.
03. Provide 2x blocking at all grab bar locations. See detail 01/A5.0.
04. All dimensions are from face of stud, U.N.O.
05. Caulk perimeter of all sinks, toilets, & backsplashes.
06. Verify all appliance dimensions prior to ordering cabinets.
07. All H/C accessible areas shall have ADA compliant thresholds at all doors requiring thresholds.
08. Interior elevations are on sheet A5.0.
09. Door & window schedules/elevations are on sheet A5.1.
10. All outlets, switches, and plate covers to be white.
11. Car wash equipment shown for representation purposes only. Verify final design w/ supplier prior to construction.
12. Mechanical, Electrical, & Structural items shown for representation purposes only. Verify final design per trade prior to construction.
13. Wall types are shown on sheet A2.4.
14. General contractor to coordinate & verify all vendor equipment prior to installation, typical. Contact Architect with any layout discrepancies.

I hereby certify that this plan specification, or report was prepared by me or under my direct supervision, and that I am a duly Registered Architect under the laws of the State of North Dakota.
Natasha
Date 3/4/22 Lic. No. 2352



VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
Sioux Falls, S.D. 605-339-4411



Midwest
Fidelity
Partners

Silverstar Car Wash - ND-4
2511 South University Drive
Fargo, ND

Exterior Elevations

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Project No.	21090	Revisions
Date:	03.04.22	
Drawn By:	TJS	

A3.0



1 Perspective 1

Scale: N.T.S.



2 Perspective 2

Scale: N.T.S.

I hereby certify that this plan specification, or report was prepared by me or under my direct supervision, and that I am a duly Registered Architect under the laws of the State of North Dakota.
Natasha
Date 3/4/22 Lic. No. 2352

	VanDeWalle Architects LLC ARCHITECTURE • PLANNING • INTERIORS Sioux Falls, S.D. 605-339-4411
	Midwest Fidelity Partners
Silverstar Car Wash - ND-4 2511 South University Drive Fargo, ND	
Exterior Perspectives	
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Project No. 21090	Revisions
Date: 03.04.22	
Drawn By: TJS	
A3.1	