

**INVER GROVE HEIGHTS
PLANNING COMMISSION AGENDA
TUESDAY, MARCH 1, 2022 - 7:00 p.m.
City Council Chambers - 8150 Barbara Avenue**

1. CALL TO ORDER

2. APPROVAL OF THE PLANNING COMMISSION MINUTES FOR FEBRUARY 15, 2022.

3. APPLICANT REQUESTS AND PUBLIC HEARINGS

A. Consider the following zoning code amendments to allow Garage Condos in Inver Grove Heights (Blue Ribbon Builders, LLC - Case No. 21-65ZA):

- 1) Amend Chapter 10-2-2 Definitions, adding the definition of Garage Condos.
- 2) Amend Chapter 10-6-2 Land Uses in all nonresidential districts to allow Garage Condos in B-3, General Business; I-1, Limited Industry; and/or I-2 General Industry districts.
- 3) Add Chapter 10-15-36 Garage Condo performance standards

B. Consider a final plat and final planned unit development for a 12-lot subdivision to be known as Canvas of Inver Grove Heights Second Addition located at PID No. 20-15800-00-070 (Watermark Properties - Case No. 22-08PUD).

4. OTHER BUSINESS

5. ADJOURN

This document is available upon 3 business day request in alternate formats such as Braille, large print, audio recording, etc. Please contact Kim Fox at 651.450.2545 or kfox@ighmn.gov.

PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Tuesday, February 15, 2022 - 7:00 p.m.
City Council Chambers - 8150 Barbara Avenue

1. CALL TO ORDER

Chair Niemioja called the Planning Commission Meeting to order at 7:00 p.m. The Pledge of Allegiance was recited.

Commissioners Present: Elizabeth Niemioja
Dennis Wippermann
Pat Simon
Anthony Scales
Kate Challeen
Jonathan Weber
Robert Heidenreich
Scott Clancy

Commissioner's Absent: Joan Robertson (excused)

Staff Present: Heather Botten, Associate Planner
Kim Fox, Community Development Specialist

2. APPROVAL OF THE PLANNING COMMISSION MINUTES FOR FEBRUARY 2, 2022

The Planning Commission Meeting Minutes for February 2, 2022 were approved as submitted.

3. APPLICANT REQUESTS AND PUBLIC HEARINGS:

BRADLEY & LESLY OSBORN - CASE NO. 22-06V

Reading of Public Notice

Commissioner Simon read the Public Hearing notice to consider the request for Bradley and Lesly Osborn - Case No. 22-06V. The request involves property located at 1770 102nd Street and consists of a variance from the number of detached accessory buildings allowed on the property and a variance from a side setback for a structure over 1,000 feet and any other related variances. Notices were mailed to three property owners on February 2, 2022.

Presentation of Request

Heather Botten, Associate Planner, discussed the request for property located south of 102nd Street, east of Rich Valley Boulevard, and north of Rich Valley Park. The property is zoned E-1, Estate Residential District. The Applicants are proposing a 1,600 square foot detached accessory building on their property that would be located 50 feet from their front property line and 10 feet from their side property line. The property is 2.63 acres in size. There is a 50-foot pipeline easement that runs along the west side of their property. The lot contains a single-family home with an attached garage and a 384 square foot shed located in the southeast corner of the property that the Applicants are looking to keep. Code requires structures over 1,000 square feet in size have at least a 50-foot setback from all property lines. Code also requires that lots of 5 acres or less are only allowed one detached accessory building. The regulations on the size and number of accessory buildings were designed to limit the massing of structures on residential properties. She mentioned that the City Council has reviewed and

modified the Code over the years, most recently last year. The Council looked at the size of accessory buildings and increased the size on lots that were 3.4 to 5 acres, but did not touch the number of accessory buildings.

Staff does not believe that the variance to allow more than one accessory structure would be consistent with the Zoning Ordinance. The Applicant's lot provides perimeter screening around the property with the shed tucked back in the southeast corner. Even with screening, Staff considers it a convenience for the Applicant to keep the shed and not a Practical Difficulty. When looking at the property, the pipeline easement limits the buildable area on the lot. There is room on the property in the middle and the rear to comply with accessory structure setbacks. Moving it to that location would require the Applicants to have additional grading and would have a substantial number of trees removed through the side of the property line to put in a driveway. Locating the structure in the rear with the additional driveway improvements, from her calculations, would put them over impervious surface numbers. Depending on where the structure would be, it would be close if not over the impervious surface maximum which then triggers the Applicants to go into a Stormwater Facilities Maintenance Agreement and treat that stormwater on their property. Staff believes allowing the location at the front part of their property a reasonable use due to the conditions and facts listed. Staff recommends denial of the request to allow more than one accessory building and recommends approval of the location of the structure with the conditions listed in the report. Staff has not heard from any of the surrounding property owners.

Commissioner Wippermann asked if there was any conversation with the Applicants about possibly reducing the size of the building so the combined square footage of the new building including the shed would not exceed 1,600.

Ms. Botten responded they did not discuss that with the applicant because they would still need the variance to have more than one accessory structure. If the Commission wanted that to be something to support, the Applicant could be asked if that was something they would consider. Even if reducing it to approximately 1,300 square feet, they would still need the variance for the number of accessory buildings.

Opening of Public Hearing

Brad Osborn, 1770 102nd Street East, has read the report. He addressed Commissioner Wippermann's comment and said he had not considered reducing the building or given thought to one smaller building. Offsetting the allowed minimum square footage, is still two buildings. He said he spoke with Associate Planner Botten who pointed out the pipeline easements. They also have a septic field which is another encumbrance to getting to the back of the yard. He addressed the 50-foot setback on the side line and said to get to 50 feet, they would be pressed right up against the house. Once next to the house it isn't an accessory structure. Due to the size, it would not be visually appealing to do that on the property. He mentioned their neighbors have all built away from that corner of their property with the neighbor to the east being on the opposite end, the neighbor across the street has unusable frontage due to the pipeline crossing the road and in their lot. He said they are located against park property and have the pipeline easement to the west.

He commented when building 25 years ago they didn't fully anticipate a retirement plan to build a building for an RV. Driving down their street there are a lot of them parked in driveways and yards. They wanted this building to house and keep the things they possess inside and not make it unsightly. He said they gave thought to where they built the garden shed. Where it sits

on their property is hard to see to the back and is visually appealing in the rural setting they are in. He understands the variance and appreciated codes that prevent what could otherwise happen in rural properties. When they built the shed, they did not anticipate this build, nor to tear it down just to tear it down. It is a well-constructed building.

Chair Niemioja asked if there was poured concrete under the shed.

Mr. Osborn responded no; it is a portable shed.

Commissioner Scales asked if he would tear down the garden shed if it was contingent on the larger structure.

Mr. Osborn responded he probably would. In lieu of that he would probably put smaller structures that are not covered by the Ordinance.

Commissioner Challeen asked if there would be adequate space to store items in the structure he wants to build if he were to tear down the existing shed.

Mr. Osborn responded there would not be. Taking the items out of the garden shed and placing it in the new structure would result in them having to take things back and forth across the property. They would probably choose to build something of a smaller size. With the limitation, they could easily put two smaller buildings there.

Chair Niemioja closed the Public Hearing.

Planning Commission Discussion

Chair Niemioja suggested taking the items separately. There is a variance for accessory buildings and a variance for a setback. She said anytime she sees the word pipeline easement, it helps her understand there is a real Practical Difficulty on the property that should allow for a setback variance.

Planning Commission Recommendation

Motion by Commissioner Scales, second by Commissioner Heidenreich, to approve a setback variance for property located at 1770 102nd Street.

Motion carried (8/0).

Commissioner Scales commented if the Applicant's tore down the smaller structure, they would not need a variance.

Ms. Botten responded they would not need a variance for the number of structures but would need a variance for a setback.

Ms. Botten clarified if a structure is 120 square feet or less, it is not counted toward the number of accessory buildings. She said the Applicant alluded to the fact that he could put two 120 square foot structures on the property versus the one that is currently there.

Commissioner Challeen asked if the building proposed was made big enough to accommodate the items currently in the garden shed would it exceed a size limitation.

Ms. Botten responded any structure over 1,600 square feet would need a variance.

Commissioner Weber asked if E-1's have anything in the City Code pertaining to chicken coops or livestock holding pens. He asked if the sizes were restricted by the accessory structure.

Ms. Botten replied there are items in the City Code pertaining to those. She responded about sizes stating those would be agricultural uses with separate Code requirements.

Commissioner Weber asked if they chose to raise a couple of chickens and use that as a chicken coop if that would have been allowed.

Ms. Botten responded there are certain requirements for chicken coops such as where they can be located on a property. A Permit would be needed. At this time, she was unsure if it would meet requirements.

Commissioner Weber mentioned he doesn't like tearing down beautiful structures. He asked if the shed was measured off of the interior square footage.

Ms. Botten responded in the affirmative.

Chair Niemioja said the Commission still needs to get to a Practical Difficulty on this one. She mentioned it was hard to come to a Practical Difficulty on multiple accessory units and has not been the tendency. She said she did not love the idea of a bunch of 120 square foot buildings. She was unsure if that was really the goal the City Council was going for.

Commissioner Scales said he thought there was room for a solution, maybe not one the Planning Commission could give. There could be a compromise or solution the City Council could work out with the Applicant to determine something that works for everyone. The Planning Commission needs a Practical Difficulty, he was unsure what that would be for this.

Motion by Commissioner Weber, second by Commissioner Challeen, to deny the request for a variance from the number of accessory buildings allowed for property located at 1770 102nd Street with strong emphasis on hoping the City Council can find a reasonable way to allow the structure to stay. Two accessory structures do not meet the current City Code criteria and the Planning Commission is unable to come up with a Practical Difficulty to allow it.

Motion carried (8/0). This item goes before the City Council on March 14, 2022.

4. OTHER BUSINESS

The next Planning Commission Meeting will take place March 1, 2022.

5. ADJOURN

The meeting was unanimously adjourned at 7:18 p.m.

Respectfully submitted,
Sheri Yourczek, Recording Secretary



PLANNING REPORT

CASE NO: 21-65ZA

APPLICANT: Blue Ribbon Builders

HEARING DATE: March 1, 2022

REQUEST: Zoning Ordinance Amendment - Garage Condos

REVIEWING DIVISIONS: Planning

PREPARED BY: Heather Botten
Associate Planner

BACKGROUND

The applicant has made a request to amend the zoning ordinance to allow the use of Garage Condos in the City of Inver Grove Heights. Currently the city code does not address this type of use and therefore it would not be allowed.

EVALUATION OF THE REQUEST

The concept of a garage condo or "auto condo" is not new. Garage condos allow individual owners to purchase a garage space for personal storage, often times for high end items such as luxury or antique cars, and serve as a show place for the items stored, as well as a place to work on those items. Typically garage condo developments consist of private garages, community spaces and possibly an office area. The individual condo units can be finished with a loft space, and possibly a bathroom and shower. A buyer would also have the option to purchase multiple units that can be configured to allow a back-to-back or side-by-side unit. Although not required, the industry is seeing many buyers customize their units far beyond standard finishes.

The applicants are proposing the garage condo use be allowed in a B-3, General Business district and/or a PUD, Planned Unit Development. The type of PUD the applicant is suggesting is not something IGH currently has in code. The B-3, General Business district is found mainly in the commercial nodes of the City. The applicants have three contiguous parcels in mind for a garage condo project that are currently zoned agricultural and guided for multi-family residential. If the ordinance amendment is approved, the applicant would then apply for a rezoning, comprehensive plan amendment, plat and conditional use permit. The applicant is aware that applying for the subsequent process does not mean the project will be approved on the specific parcels.

Staff believes this type of use would be a good fit in Inver Grove Heights. When reviewing the request one of the things staff discussed was the potential uses (proposed and future) of these individual garages. Staff believes they could be considered a high-end mini storage facility. The City recognizes the need for storage facilities but wants to make sure that use is compatible with the surrounding zoning districts. In 2021, Council adopted an ordinance amendment to remove the use of mini-storage facilities in the B-3 zoning district as they did not believe it was an appropriate use for a commercial district. The B-3 general business district is established for large scale retail sales and services serving the region. Mini storage, with or without outdoor storage, is currently allowed in the I-1 and I-2 Districts. These are generally located along major highways and on the perimeters of the city.

Staff researched and the applicant provided information on Minnesota communities that allow garage/auto condos. Review of this information showed that garage/auto condo projects are located in the following zoning districts:

- Big Lake allows “luxury garages” in the I-1, Industrial Park zoning.
- Chanhassen allows the use in the IOP, Industrial Office Park.
- The Eagan car club is in a PUD.
- Medina’s Automotorplex is located in a PUD district, the development includes a fitness center and coffee shop.
- Watertown allows the use in their mixed use/business/residential/light industrial district (MU-BRLI), more specifically in an area that accommodates structures that are larger and provide for warehousing, manufacturing, and fabrication.

ZONING CODE REVIEW

The following zoning code language is being proposed:

10-2-2 Definitions

GARAGE CONDO: A building or buildings governed by a Homeowners Association consisting of individual, self-contained units that are owned or leased where personal items are stored, distinguished by the ability of owners or tenants to customize build out of the units. Ministorage Facilities are not Garage Condos. Garage condo developments may include within the buildings community gathering spaces or office areas._

10-6-2 Land Uses in all nonresidential districts - (the zoning district(s) to conditionally allow garage condos is to be determined.)

Use	Zoning District											
	B-1	B-2	B-3	B-4	OP	I-1	IOP	I-2	P	MU-PUD	COMM-PUD	OFFICE-PUD
<u>Garage Condos</u>			<u>C</u>			<u>C</u>		<u>C</u>				

10-15-36: GARAGE CONDOS

Garage condos in all districts, where permitted, shall be subject to the following performance standards:

A. A fence or wall of acceptable design, not over seven feet (7') in height or less than five feet (5'), shall be constructed along the property line when said use abuts property residentially used or in an R district, and said fence shall be adequately maintained.

Application of this subsection shall not require a fence within the required front yard.

B. No outdoor storage of vehicles for a period longer than twenty-four (24) hours shall be permitted.

C. The individual units shall not be made available for business uses open to the public.

D. The individual units shall not be used for residential living quarters.

ALTERNATIVES

The Planning Commission has the following actions available on the following request:

A. Approval. If the Planning Commission finds the application acceptable, the Commission should make the following recommendations:

- Approval of a **Zoning Code Amendment** to amend Chapter 10-2-2 Definitions, adding the definition of Garage Condos.
- Approval of a **Zoning Code Amendment** to amend Chapter 10-6-2 Land Uses in all nonresidential districts to allow Garage Condos in B-3, General Business; I-1, Limited Industry; and/or I-2 General Industry districts.
- Approval of a **Zoning Code Amendment** to add Chapter 10-15-36 Garage Condos with the criteria listed above.

B. Denial. If the Planning Commission does not favor the proposed application the above requests should be recommended for denial. With a recommendation for denial, findings or the basis for the denial should be given.

RECOMMENDATION

The Planning Commission is to make a recommendation to City Council regarding the proposed ordinance amendments which would allow the use of garage condos in the City.

Staff is recommending denial of the applicants request to allow Garage Condos in the B-3, General Business district based on the similarity of the use to a mini-storage facility and the Council direction to not allow such uses in the B-3 district.

Staff is recommending approval of the definition and performance criteria as presented and would support the garage condo use in only the I-1 or I-2 zoning districts.

Attachments: Draft Ordinance
Applicant narrative
Examples of garage condos
Sketch of potential lot layout of condo development

**CITY OF INVER GROVE HEIGHTS
DAKOTA COUNTY, MINNESOTA**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING INVER GROVE HEIGHTS CITY CODE
SECTIONS 10-2-2, 10-6-2, AND 10-15-36 REGARDING GARAGE CONDOS**

THE CITY COUNCIL OF THE CITY OF INVER GROVE HEIGHTS ORDAINS AS FOLLOWS:

Section One. Amendment. Section 10-2-2 of the Inver Grove Heights City Code is hereby amended to add the following language. The underlined text shows the language added to the code:

GARAGE CONDO: A building or buildings governed by a Homeowners Association consisting of individual, self-contained units that are owned or leased where personal items are stored, distinguished by the ability of owners or tenants to customize build out of the units. Ministorage Facilities are not Garage Condos. Garage condo developments may include within the buildings community gathering spaces or office areas.

Section Two. Amendment. Section 10-6-2 of the Inver Grove Heights City Code is hereby amended to add the following language. The underlined text shows the language added to the code:

10-6-2 Land Uses in all nonresidential districts - (the zoning district(s) to conditionally allow garage condos is to be determined.)

Use	Zoning District											
	B-1	B-2	B-3	B-4	OP	I-1	IOP	I-2	P	MU-PUD	COMM-PUD	OFFICE-PUD
<u>Garage Condos</u>			<u>C</u>			<u>C</u>		<u>C</u>				

Section Three. Amendment. Section 10-15-36 of the Inver Grove Heights City Code is hereby amended to add the following language. The underlined text shows the language added to the code:

10-15-36: GARAGE CONDOS

Garage condos in all districts, where permitted, shall be subject to the following performance standards:

- A. A fence or wall of acceptable design, not over seven feet (7') in height or less than five feet (5'), shall be constructed along the property line when said use abuts property residentially used or in an R district, and said fence shall be adequately maintained. Application of this subsection shall not require a fence within the required front yard.
- B. No outdoor storage of vehicles for a period longer than twenty-four (24) hours shall be permitted.
- C. The individual units shall not be made available for business uses open to the public.
- D. The individual units shall not be used for residential living quarters.

Section Four. Effective Date. This Ordinance shall be in full force and effect upon its passage and publication as provided by law.

Passed in regular session of the City Council on the ____ day of _____, 2022.

CITY OF INVER GROVE HEIGHTS

By: _____
Tom Bartholomew, Mayor

ATTEST:

Rebecca Kiernan, City Clerk



February 10, 2022

City Planner, Heather – City of Inver Grove Heights

Thank you for the time yesterday and today in order for us to discuss the situation involving the Old Concord site for our proposed project.

At this point we feel the appropriate classification for our project would need to be as follows.

B" Business Districts

"Commercial PUD" Commercial Planned Unit Development

- It is anticipated that in order to accommodate the type of use requested, the City would need to rezone this area in accordance and classify this as:
 - Special Use Districts
 - Mixed use development - (MU-BRLI)
 - Then with the ordinance changed to adopt Mixed-use Business, Residential, Light Industrial zoning ordinance (MU-BRLI). This ordinance would be amended to include the provisions relating to the proposed auto condo use.

Doug Johnson
President; Blue Ribbon Builders, LLC
763-227-119+1



Why is a Garage Solution Condominium a good investment?

Purchasing a Garage Solution Condominium is a good investment:

- If you are unable to build your own storage building due to lack of acreage, city ordinances, covenants, expense or time constraints, owning a condominium is an excellent investment versus renting.
- If you elect to finance the purchase, on a square foot basis, a mortgage payment can be competitive with rental properties.
- A mortgage payment ends versus a rental payment, which does not.
- No enduring rental increases or renewal hassles.
- The property will be an asset on your personal financial statement.
- You may experience a return on investment due to appreciation (market conditions apply).
- Owning may offer tax benefits such as depreciation and deductible mortgage interest (consult with a tax professional).
- Expenses for improvements can be recaptured at the time of the sale of a unit.

What is the Garage Solution Condominium Owners Association?

Unit owners become members of an association, which will allow them to enjoy a partnership participation in the management and maintenance decisions regarding the common areas. The association will be responsible for collecting monthly dues, which will then be used to pay for items such as; property insurance for common areas, shared utilities, landscape maintenance, snow removal, garbage removal, and miscellaneous repairs.

What type of security is available?

Security is a top priority for Garage Solution Condominiums:

- Fencing will secure the entire perimeter of the property.
- The entrance will be gated with access allowed exclusively to owners.
- Security lighting will cover all common areas.
- A security camera system will cover the entrance and common areas.
- Individual units will be wired for security system with internet access.
- An optional security camera may be installed with internet access.

Who pays for property insurance?

The association will carry an insurance policy to cover the common building elements and common areas shared by all owners.

Individual owners will be responsible to carry an insurance policy to cover their own unit, any improvements, and the contents and provide a certificate of insurance to the Association.

How are taxes paid?

Individual owners will be responsible to pay property taxes on their unit as identified by the county.

Is water and sewer available in the individual units?

Yes. Water and sewer will be roughed in to each unit.

What common amenities are available?

- An RV dump station will be available to all owners.
- A common area dumpster will be available to all owners.



What are Garage Condos (Workshops)?

- Garage Condos are individually owned garage units within a building/complex that can be purchased using traditional real estate financing.
- Each Garage unit can be used for a variety of purposes including: use as a collector showcase; housing for your RV/ice house, boat, snowmobiles, ATVs; and it provides a secure place to work on projects alone or amongst like minded people who share a love for "the garage".
- Units are sold as a "shell" with in floor heat, electricity & bathroom rough in allowing owners to create their own unique space from a simple garage shop to an elaborate themed "man cave" creation.

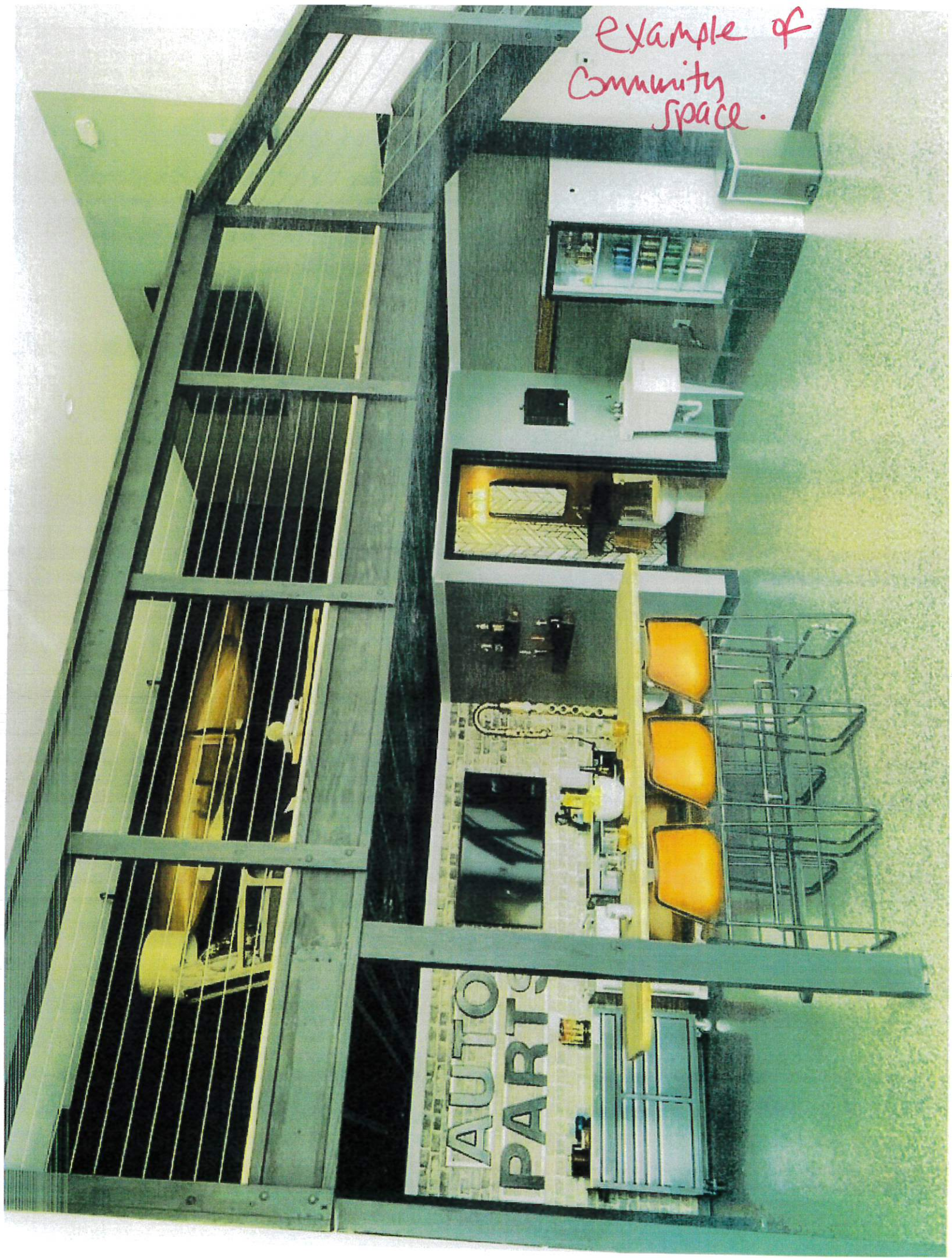
Why Own a Garage Condo?

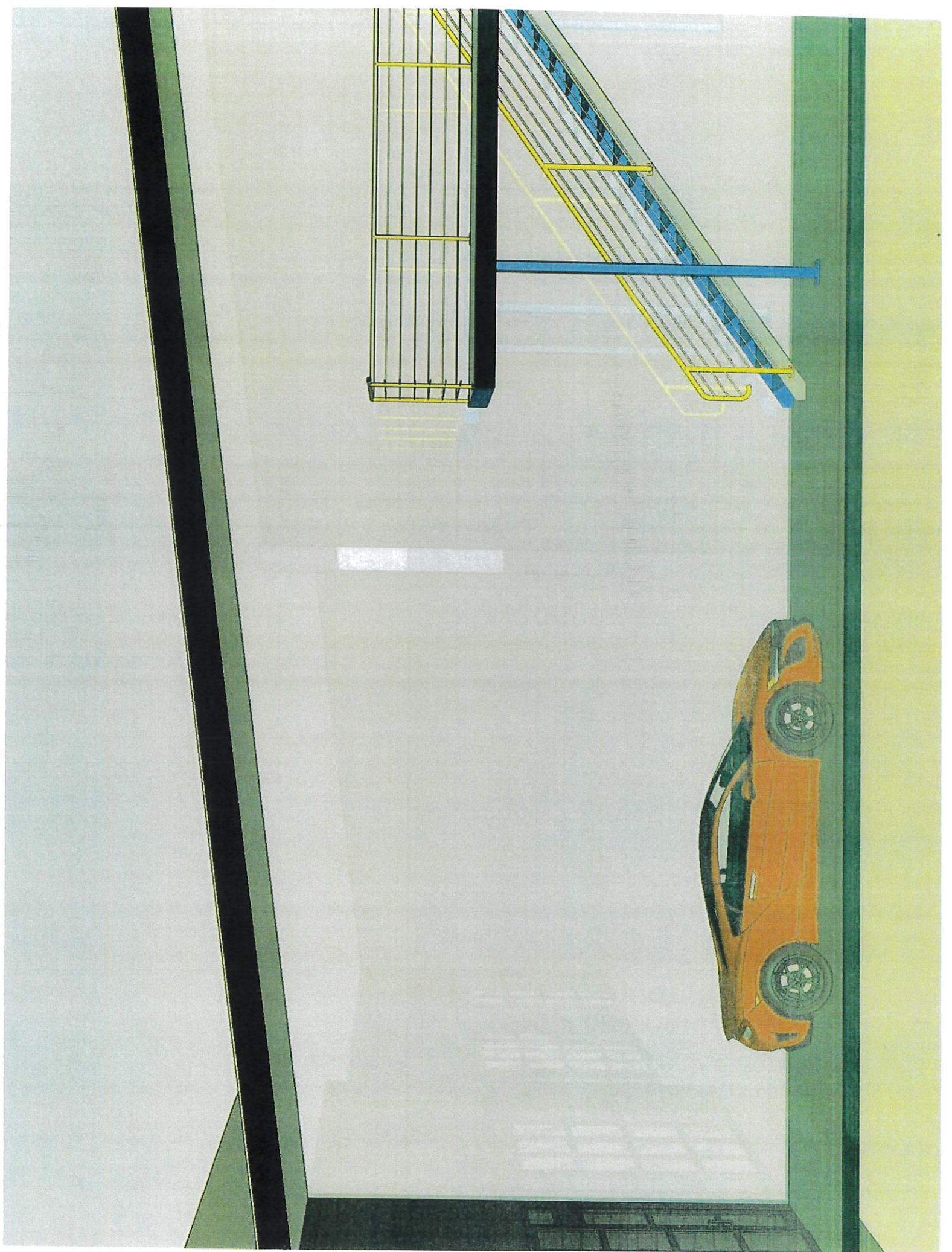
Your Garage Condo can be used in a variety of ways: a safe secure secure location to work on your most loved hobby and climate controlled storage for those precious toys. The garage condo concept is that "Happy Place" that people of all ages love to own. Maybe you want to organize your hobbies, learn new ones, or inspire others to do the same by hanging out with friends on a weekend afternoon. The garage condo provides the perfect platform for all of these options while you enjoy new found "Freedom".

Medina, Mn.



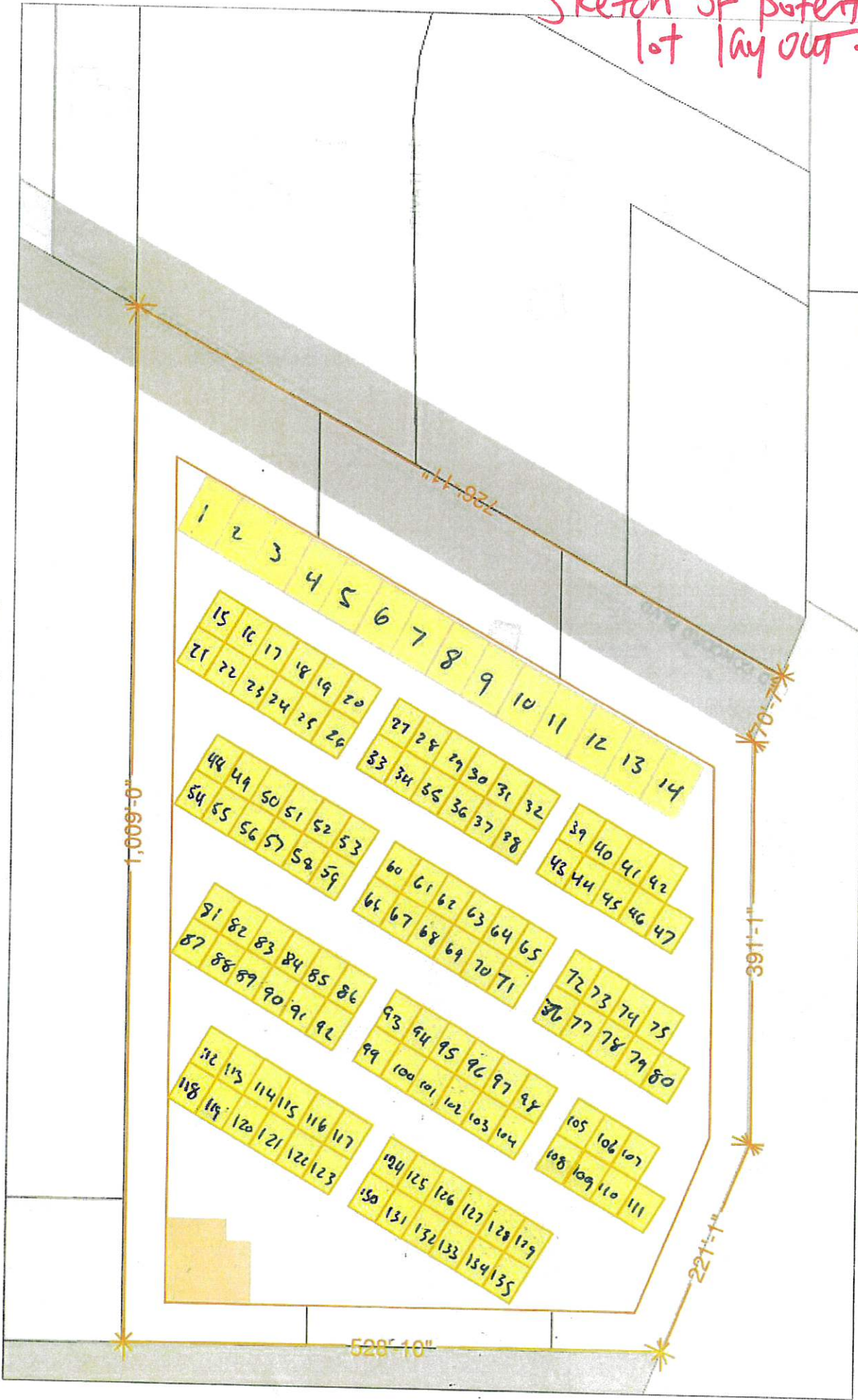
Example of
Community
space.





Property Map

Sketch of potential lot layout.



11/22/2021, 2:10:36 PM

Parcels

Tax Parcels

Right of Way Easement

1:2,257

0 0.01 0.03 0.05 mi

0 0.02 0.04 0.08 km

County of Dakota, Eau Claire, Eau Claire, INCREMENT 2

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This drawing is neither a legally recorded map nor a survey and is not intended to be used as such.

Dedicated Right of Way



PLANNING REPORT

CASE NO.: 22-08PUD

APPLICANT: Watermark Properties

PROPERTY OWNER: Watermark Properties

REQUEST: Final Plat and Final PUD Development Plan

LOCATION: Northeast corner of Hwy 3 and 70 Street

MEETING DATE: March 1, 2022

COMPREHENSIVE PLAN: LMDR, Low-Medium Density Residential

ZONING: R-1C /PUD

REVIEWING DIVISIONS: Planning
Engineering

PREPARED BY: Allan Hunting
City Planner

BACKGROUND

An application has been submitted for the final plat and final development plan Canvas At Inver Grove Heights Second Addition which is phase 2 of project. Phase 2 contains 12 single family lots in the northeast corner of the site, on the north side of the pipeline easement and east of Allen Way.

The City Council approved the preliminary plat and development plans on October 12, 2020.

EVALUATION OF THE REQUEST

The final plan review is limited to a review of the plans against the preliminary plat conditions of approval for compliance. The review will address each of the 19 conditions. A copy of the resolution approving the preliminary plans, including the conditions is attached.

Condition #1 relating to consistency with preliminary plans. The submitted final plans are consistent with the preliminary plans approved by Council. No changes have been made to the layout.

Condition #2 relating to specific setbacks. The specific setbacks listed were for lots in the first addition. Does not apply to the second addition.

Condition #3 relating to approval of the final grading, drainage and erosion control plans. The plans for the entire project were approved with the first phase. All of the public streets are being installed and all the grading occurred. Only the private road and sewer and water services in the road are yet to be constructed.

Condition #4 relating to drainage and utility easements provided on the plat. The final plat is to change so there is a drainage and utility easement over all of Outlot A.

Condition #5 relating to boundaries of open space with marker posts. Engineering has created a post and sign template for developers to use to mark the open space boundary. The final location of the posts will be approved by Engineering and will be field inspected.

Condition #6 relating to park dedication and recommendations from the Park and Rec Commission. Park dedication will consist of a cash payment for the 12 units. The park dedication fees are collected at time of final plat release.

Condition #7 relating to plans reviewed by the Fire Marshall. All conditions of the Fire Marshall were handled in the first addition.

Condition #8 relating to review from Dakota County and MnDOT. All have been addressed.

Condition #9 relating to street stub to the east. Street stub part of plans and has been constructed.

Condition #10 relating to a wetland mitigation plan. All have been addressed with the first addition.

Condition #11 relating to recording of documents. A standard condition notifying all parties of what documents must be recorded with the final plat. The City Attorney's office will work with the developer and city staff to ensure all documents are recorded.

Condition #12 relating to undisturbed areas. Addressed with the first addition.

Condition #13 relating to acknowledgment of future city approvals. This condition was drafted by the City Attorney to clarify in all developments in the Northwest Area what changes require administrative or Council review. This language will be carried over into the development contract.

Condition # 14 relating to acknowledgement of PUD zoning. This condition was drafted by the City Attorney to indicate an acknowledgement will be recorded with the County for each development indicating the zoning and regulations placed on the property. It puts on record for any future landowners that there are special regulations on the property. This same type of notification was used in Arbor Pointe.

Condition #15 relating to entering into a development contract. Staff has met with the developer to address obligations to be covered in the developer agreement. A development contract will be drafted and reviewed by the City Council during their review of the final plan set.

Condition #16 relating to documents that must be recorded with the final plat. Standard language identifying additional documents to be recorded with the final plat.

Condition #17 relating to payment of plat utility fees. The development contract will address the specific fees that the developer must pay before plat release as part of the funding for the infrastructure of the sewer and water for the Northwest Area. The Council adopted an ordinance which specifies fees to be paid at time of final plat release. There will also be additional fees collected at time of building permit for all residential structures. This condition was intended to state the developer's responsibility for paying these fees.

Condition #18 relating to street lighting. All street lights have been installed.

Condition #19 relating to fencing on top of retaining walls. The grading plans identify all walls will have fencing where required by code. Typically fencing is required on walls four feet or taller.

ALTERNATIVES

A. Approval. If the Planning Commission finds the proposed Final plat and Final PUD development plans for Canvas At Inver Grove Heights Second Addition acceptable, a recommendation of approval should be made subject to the following conditions:

1. The project shall be developed in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below:

Final Plat	
Grading and Drainage Plan	dated 1/31/22
Erosion and Sediment Control Plan	dated 1/31/22
Sanitary Sewer & Watermain Plan	dated 1/31/22
Storm Sewer Plan	dated 1/31/22
Landscape Plan	dated 1/31/22

***The final list of approved plans and date of plans shall be identified in the development contract.**

2. All plans are subject to the review and approval of the City Engineer including comments from city consultants reviewing the plans prior to work commencing on the site.
3. Prior to any work commencing on the site, the developer shall enter into a development contract with the City. The development contract will address all other preliminary conditions of approval relating to other agreements required, park dedication, and other pertinent specific performance standards for this phase of the PUD.

B. Denial. If the Planning Commission does not find the application to be acceptable, a recommendation of denial should be made. Specific findings supporting a basis for denial must be stated by the Commission if such a recommendation is made.

RECOMMENDATION

Based on this review, the Planning Division and Engineering recommends approval of the final plat and PUD development plans for Canvas At Inver Grove Heights Second Addition subject to the conditions stated above.

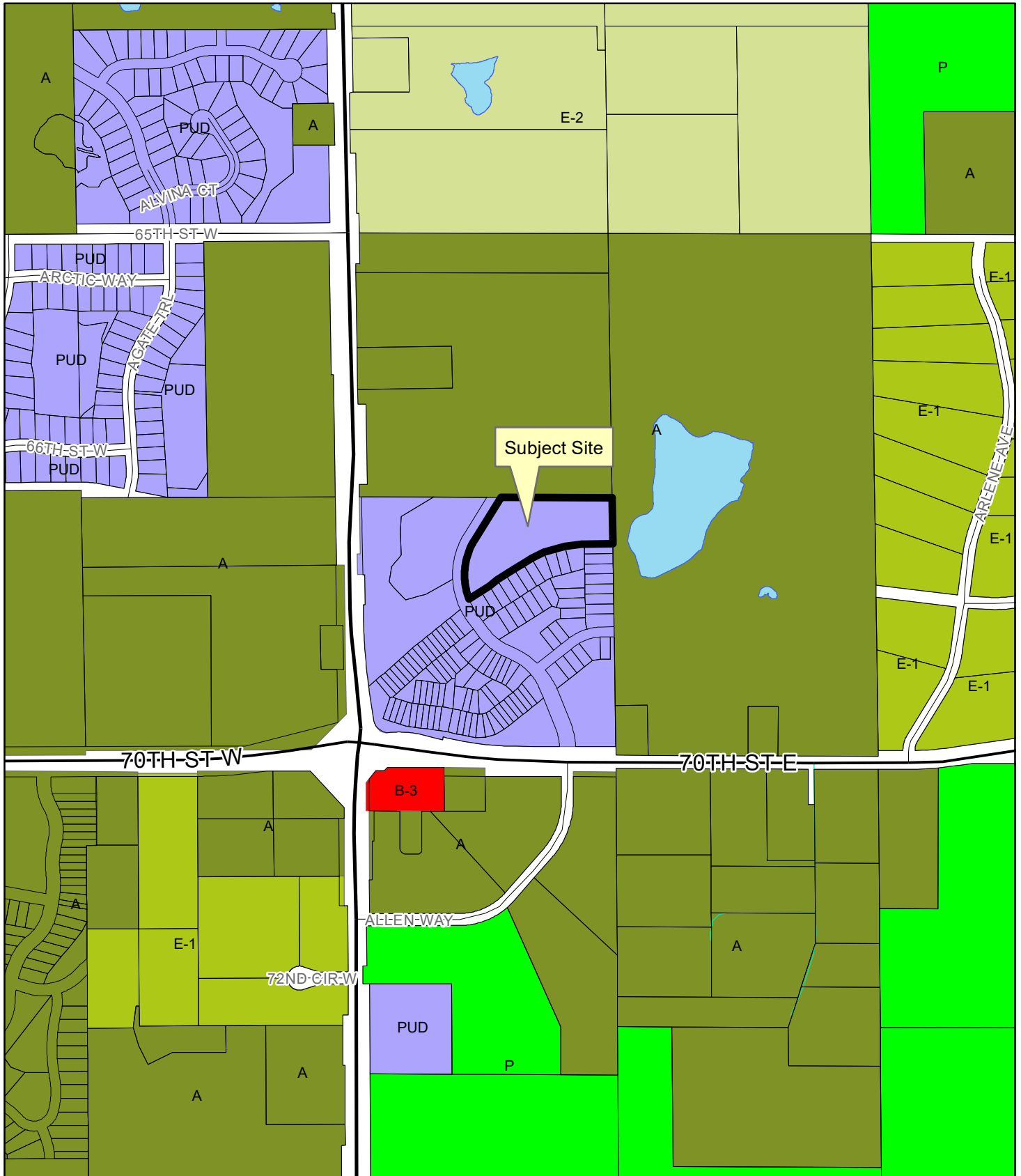
ATTACHMENTS:

Location Map
Preliminary PUD conditions of approval
Final Plat
Existing Conditions Plan
Grading Plan
Landscape Plan



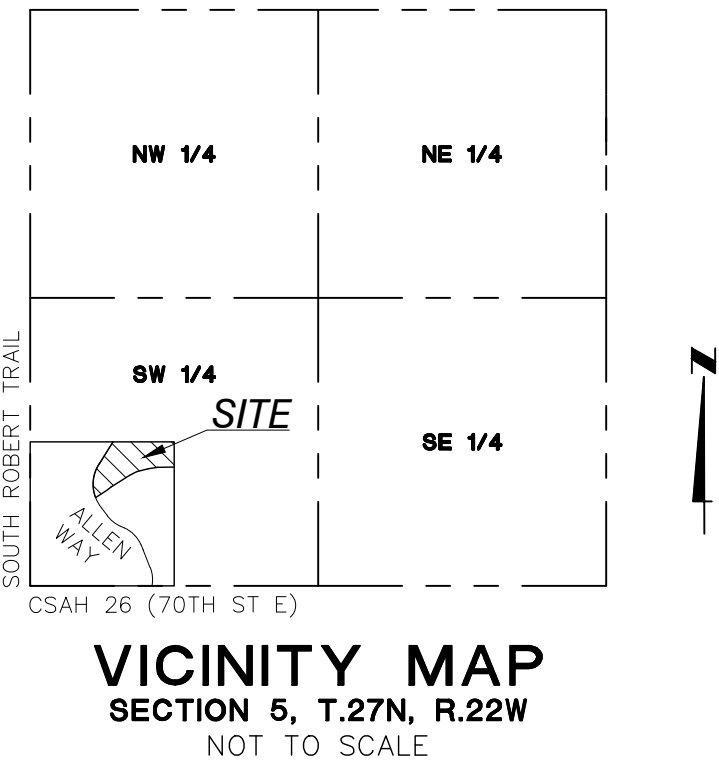
Location Map

Case No. 22-08PUD

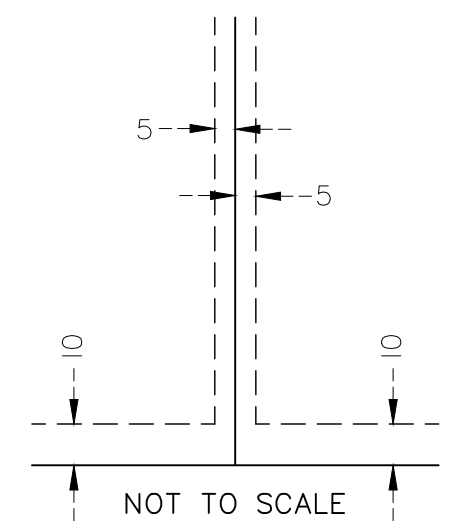


CANVAS AT INVER GROVE HEIGHTS SECOND ADDITION

NW 1/4 OF THE SW 1/4
OF SEC. 5, T.27, R.22



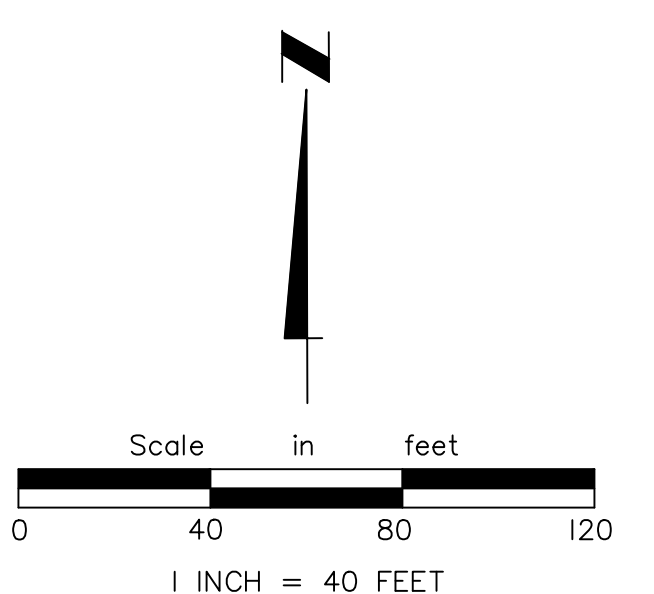
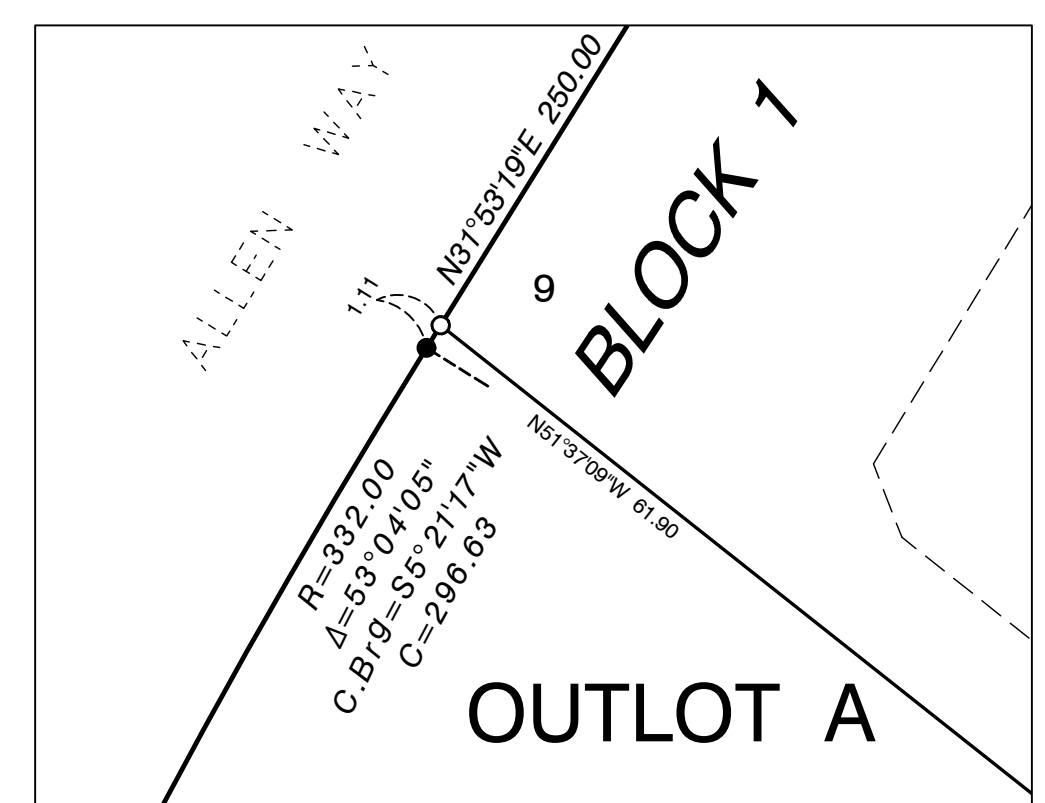
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Being 5 feet in width and adjoining lot lines
and 10 feet in width and adjoining street lines
as shown on this plat, unless otherwise shown.

THE NORTH LINE OF OUTLOT G, CANVAS AT INVER
GROVE HEIGHTS IS ASSUMED TO HAVE A BEARING
OF S89°48'38"E

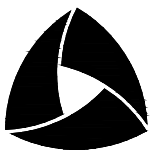
- Denotes monument found 1/2 inch iron pipe marked by license no. 44110 unless otherwise shown
- Denotes 1/2 inch x 18 inch iron monument set marked by license no. 44110 unless otherwise shown
- D&U Denotes Drainage & Utility easement



CANVAS AT INVER GROVE HEIGHTS

SECOND ADDITION

INVER GROVE HEIGHTS, MINNESOTA



ALLIANT

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DEVELOPER

WATERMARK EQUITY GROUP
4000 SHORELINE DRIVE
SPRING LAKE PARK, MN 55384
CONTACT: CORY HAUSLADEN
PHONE: 763-238-0644
EM: chausladen@wmprops.com

CONSULTANT

ALLIANT ENGINEERING, INC.
733 MARQUETTE AVE
SUITE 700
MINNEAPOLIS, MINNESOTA 55402
PH: 612-758-3080

ENGINEER

MARK RAUSCH
LICENSE NO. 43480
EM: mrausch@alliant-inc.com

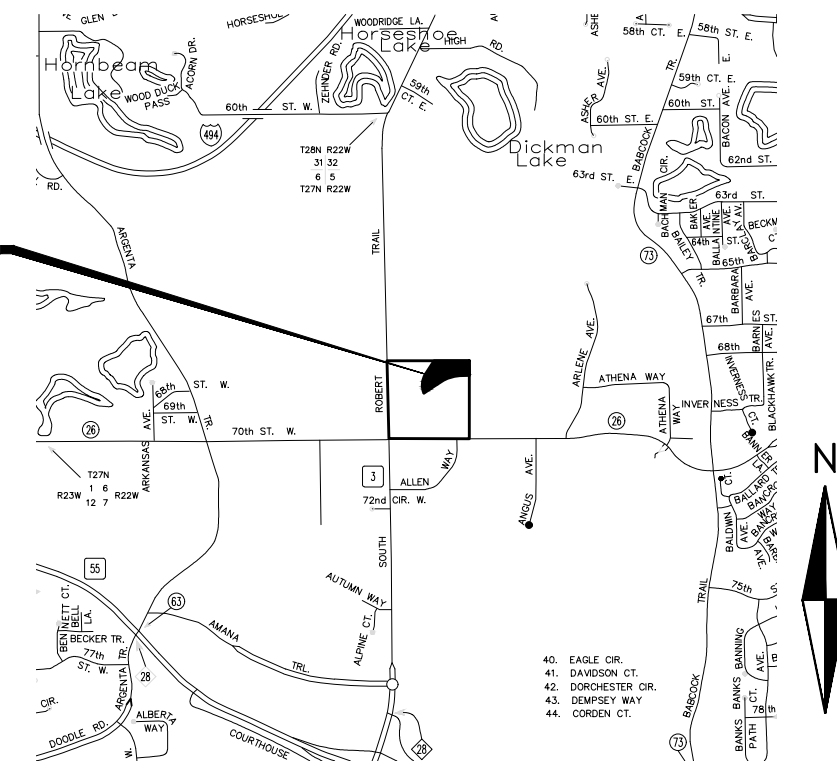
SURVEYOR

PETER GOERS
LICENSE NO. 44110
EM: pgoers@alliant-inc.com

LANDSCAPE ARCHITECT

MARK KRONBECK
LICENSE NO. 26222
EM: mkronbeck@alliant-inc.com

PROJECT
LOCATION



VICINITY MAP

NOT TO SCALE

SHEET INDEX

NO.	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS SURVEY
3	DETAILS
4-5	SITE LIGHTING AND SIGNAGE PLAN
6-7	GRADING AND DRAINAGE PLAN
8	EROSION AND SEDIMENT CONTROL PLAN
9	SANITARY SEWER AND WATERMAIN PLAN
10	SANITARY SEWER AND WATERMAIN PLAN AND PROFILES
11	STORM SEWER PLAN
12	STREET AND STORM SEWER PLAN AND PROFILES
13	STREET INTERSECTION DETAILS
14	LANDSCAPE PLAN

CANVAS AT INVER GROVE HEIGHTS SECOND ADDITION

INVER GROVE HEIGHTS

FINAL PLAT & PUD SUBMITTAL

COVER SHEET

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

MARK RAUSCH, PE
1-31-2022
Date License No.

QUALITY ASSURANCE/CONTROL

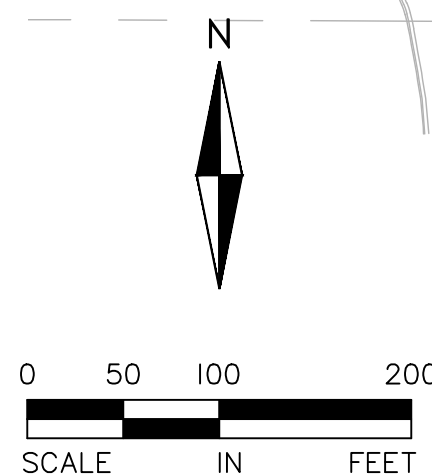
BY DATE

DATE ISSUE

1-31-2022 CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: MPR
DRAWN: TAS
PROJECT NO: 220-0092



Drawing name: X:\2020\200092\plan sheets\Final Plot - Phase 2\200092\grad.dwg Jan 28, 2022 4:15pm



GRADING LEGEND:

- 789

EXISTING CONTOUR

62.44

62.4

62.44

62.4

1.0%

DIRECTION OF DRAINAGE

EMERGENCY OVERFLOW ROUTING

PROPOSED RETAINING WALL

PROPOSED TC, CL ELEVATION

PROPOSED SPOT ELEVATION

PROPOSED CATCH BASINS

PROPOSED STORM SEWER

TOP OF WALL ELEVATION

BOTTOM OF WALL ELEVATION

PROPERTY LINE

LOT LINE

EASEMENT LINE

EXISTING TREE

GRADING NOTES:

- ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0%. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0%.
 - THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND WATERSHED.
 - NOTIFY GOPHER STATE ONE CALL, AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
 - ALL IMPROVEMENTS TO CONFORM WITH CITY OF INVER GROVE HEIGHTS CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
 - ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
 - REFER TO GEOTECHNICAL REPORT AND PROJECT MANUAL, FOR SOIL CORRECTION REQUIREMENTS AND TESTING REQUIREMENTS.
 - STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE. STOCKPILE PERIMETERS MUST BE PROTECTED WITH SILT FENCE.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
 - THE GENERAL CONTRACTOR MUST DISCUSS DEWATERING PLANS WITH ALL SUBCONTRACTORS TO VERIFY NPDES REQUIREMENTS. IF DEWATERING IS REQUIRED DURING CONSTRUCTION, CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
 - REFER TO EROSION CONTROL PLAN FOR ALL EROSION AND SEDIMENT CONTROL DEVICE LOCATIONS. EROSION CONTROL SHALL BE INSTALLED AND INSPECTED BY THE CITY ENGINEER PRIOR TO COMMENCING WORK.
 - ALL 3:1 SLOPES SHALL BE AMENDED WITH A MINIMUM OF 2.5 INCHES OF COMPOST ROTOTILLED TO A DEPTH OF 8 INCHES AND REINFORCED WITH EROSION CONTROL BLANKET WITH NATURAL NETTING AND STITCHING.
 - INFILTRATION BASINS TO BE UTILIZED AS TEMPORARY SEDIMENT BASINS. UPON ESTABLISHMENT OF UPSTREAM AREAS IN-SITU SOILS TO BE TILLED TO A DEPTH OF 36".

RETAINING WALL NOTES:

RETAINING WALL MASS GRADING PREPARATION

- ALL RETAINING WALLS SHALL BE ROUGH GRADED AT A 2:1 SLOPE WITH BASE OF SLOPE AT PROPOSED WALL FACE.
 - THE RETAINING WALL SLOPE AREAS ARE TO BE MAINTAINED UNTIL RETAINING WALL CONSTRUCTION OCCURS. ANY EROSION SHALL BE REMEDIED AND RESTORED.
 - BUILDING PERMITS ARE REQUIRED FOR ALL RETAINING WALLS 4 FEET IN HEIGHT OR GREATER AND THE WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER WITH DESIGN REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION. ANY QUESTIONS REGARDING THE BUILDING PERMITS SHALL BE DIRECTED TO THE CITY BUILDING INSPECTOR.
 - INSTALL SAFETY RAILING ATOP ALL WALLS WHERE REQUIRED BY CODE.
 - SAFETY RAILING TO BE 4' BLACK CHAIN LINK FENCE.
 - RETAINING WALL CONTRACTOR AND/OR RETAINING WALL STRUCTURAL ENGINEER ARE RESPONSIBLE TO REVIEW CIVIL SITE ENGINEERING DRAWINGS. ANY OBSERVED CONCERNS WITH CIVIL SITE ENGINEERING DESIGN ELEMENTS RELATED TO RETAINING WALLS THAT REQUIRE MODIFICATIONS TO THE CIVIL SITE DESIGN IS THEIR RESPONSIBILITY TO COORDINATE WITH PROJECT OWNER AND CIVIL SITE ENGINEER. IF NO COORDINATION IS REQUESTED IT SHALL BE UNDERSTOOD THAT ALL CONDITIONS WITHIN THE CIVIL SITE DESIGN AND PLANS ARE ACCEPTABLE AND ABLE TO BE PROVIDED FOR IN THE RETAINING WALL DESIGN AND CONSTRUCTION.
 - RETAINING WALLS ARE TO BE FINAL DESIGNED AND PERMITTED BY OTHERS.

SITE MASS GRADING WAS COMPLETED IN 2021. SEE CANVAS AT INVER GROVE HEIGHTS CONSTRUCTION DOCUMENTS FOR DETAILS.

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CANVAS AT INVER GROVE HEIGHTS SECOND ADDITION

INVER GROVE HEIGHTS

FINAL PLAT & PUD SUBMITTAL

GRADING AND DRAINAGE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

MARK RAUSCH, PE
1-31-2022
Date License No.

QUALITY ASSURANCE/CONTROL

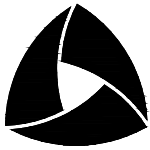
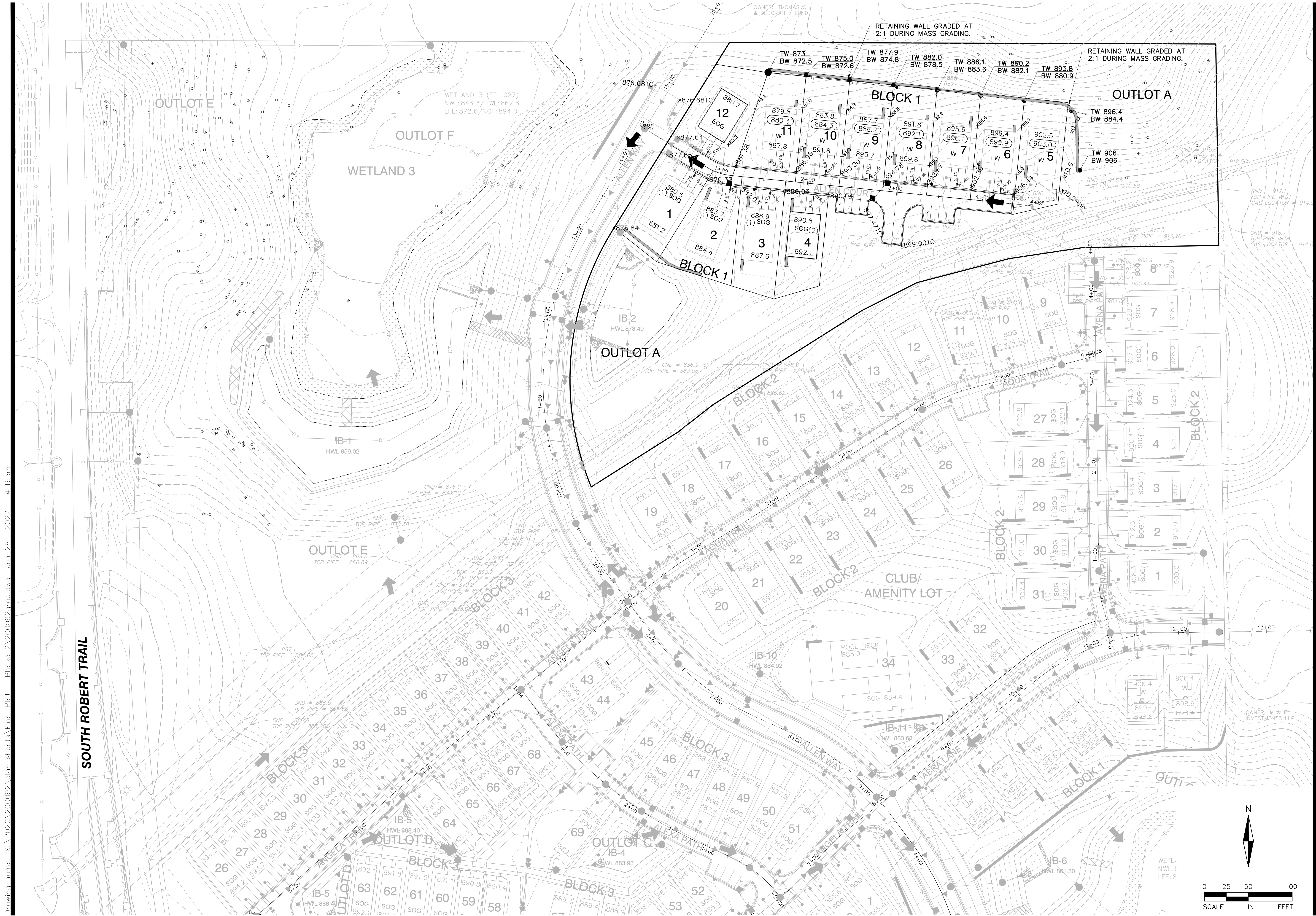
BY	DATE
DATE	ISSUE
1-31-2022	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	TAS
PROJECT NO:	220-0092

6

SHEET 6 OF 14

Drawing name: X:\2020\200092\plan sheets\Final Plat - Phase 2\200092arad.dwg Jan 28, 2022 4:16pm



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CANVAS AT INVER GROVE HEIGHTS SECOND ADDITION

INVER GROVE HEIGHTS

FINAL PLAT & PUD SUBMITTAL

GRADING AND DRAINAGE PLAN

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BY	DATE
DATE	ISSUE
1-31-2022	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: TAS
PROJECT NO: 220-0092

Drawing name: X:\2020\200092\plan sheets\Final Plat - Phase 2\200092pudl.dwg Jan. 28, 2022 -- 3:54pm



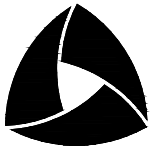
LEGEND:

	EXISTING GATE VALVE		PROPOSED STORM SEWER
	EXISTING HYDRANT		PROPOSED SANITARY SEWER
	EXISTING WATERMAIN		PROPOSED WATERMAIN
	EXISTING CATCH BASIN		PROPOSED CATCH BASIN
	EXISTING STORM MANHOLE		PROPOSED SANITARY MANHOLE
	EXISTING STORM SEWER		PROPOSED GATE VALVE
	EXISTING SANITARY MANHOLE		PROPOSED HYDRANT
	EXISTING SANITARY SEWER		

UTILITY NOTES:

- EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- MAINTAIN A MIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS. WATER AND SANITARY SEWER TRUNK LINES TO MAINTAIN 10' HORIZONTAL SEPARATION. LOWER WATERMAIN AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 3'.
- ALL UTILITY WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF INVER GROVE HEIGHTS ENGINEERING GUIDELINES.
- NOTIFY GOPHER STATE ONE CALL 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
- PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" LATEST REVISION, FOR ANY CONSTRUCTION WITHIN PUBLIC R.O.W.
- ALL SANITARY MANHOLES TO BE 48" DIAMETER CONCRETE W/NEENAH R-1642 CASTING, UNLESS NOTED OTHERWISE.
- WATERMAIN, SERVICES, AND VALVES SHALL BE INSTALLED WITH MINIMUM 7.5' OF COVER, THOUGH WATERMAIN DEPTH WILL BE INCREASED WHERE NECESSARY TO AVOID CONFLICT WITH SANITARY SEWER.
- WATER SERVICES SHALL BE 1" DIA. COPPER, TYPE K, W/ 1" CORP. STOP + 1" CURB BOX.
- SEWER SERVICES SHALL BE 4" PVC, SCH 40. MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS.
- WATER SERVICES MAY BE PLACED IN SAME TRENCH AS SEWER SERVICES PROVIDED THAT A 18" VERTICAL & A 36" HORIZONTAL SEPARATION ARE MAINTAINED AND PIPE MATERIALS MEET THE CITY AND BUILDING CODES.
- ALL 6", 8", AND 16" WATERMAIN SHALL BE DIP CL-52.
- ALL HYDRANTS SHALL HAVE A 6" LEAD WITH APPROPRIATE FITTINGS, EITHER A 8X6" TEE OR A 6" REDUCER.
- CITY UTILITY DIVISION WILL OPERATE EXISTING VALVES. COORDINATE SHUT OFF AT WATER CONNECTION WITH A 48 HOUR NOTICE.
- ALL 16" VALVES SHALL BE BUTTERFLY VALVES AND LOCATED IN MANHOLES.
- ALL DIP SANITARY SEWER SHALL BE CERAMIC EPOXY COATED.
- FORD A-1 CONVERTS SHALL BE INSTALLED OVER ALL CURB STOP BOXES IN PAVEMENT/DRIVEWAYS.

WARNING: MAGELLAN ACTIVE GAS PIPELINE THROUGH DEVELOPMENT SITE. MAGELLAN REPRESENTATIVE TO BE ON SITE DURING CONSTRUCTION WITHIN EASEMENT. FIELD CONTACT: BRUCE 612-257-4726



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CANVAS AT INVER GROVE HEIGHTS SECOND ADDITION

INVER GROVE HEIGHTS

FINAL PLAT & PUD SUBMITTAL

SANITARY SEWER AND WATERMAIN PLAN

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MARK RAUSCH, PE
1-31-2022
Date License No.

QUALITY ASSURANCE/CONTROL

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1-31-2022	CITY SUBMITTAL

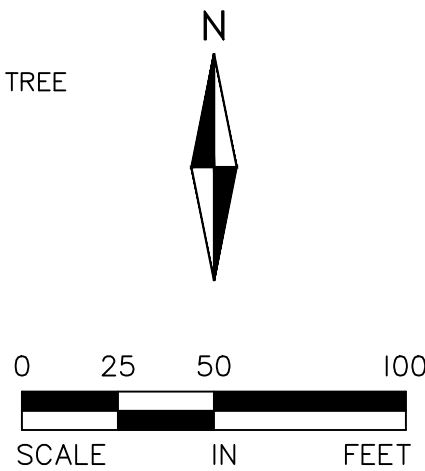
PROJECT TEAM DATA

DESIGNED:	MPR
DRAWN:	TAS
PROJECT NO:	220-0092

Drawing name: X:\2020\200092\plan sheets\Final Plat - Phase 2\200092land.dwg Jan 28, 2022 4:19pm

LEGEND

- PROPOSED DECIDUOUS OVERSTORY TREE
- PROPOSED COMPACT TREE
- PROPOSED CONIFEROUS TREE
- EXISTING TREE



LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR CALLING GOPHER STATE ONE CALL AT 811 OR 651-454-0002 FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK.
- INSTALL 4" MIN. TOP SOIL TO ALL SOD, SEED AND SHRUB AREAS. FINE GRADE ALL SOD AND SEED AREAS. INSTALL 12" PLANTING SOIL TO ALL PERENNIAL & ANNUAL AREAS.
- STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- WHERE SHREDDED HARDWOOD MULCH IS SPECIFIED, BED MULCH WITH 4" DEPTH OF DARK BROWN SHREDDED HARDWOOD MULCH OVER FILTER FABRIC.
- POLY-EDGER TO BE VALLEY VIEW BLACK DIAMOND OR APPROVED EQUAL.
- INSTALL 4-6" DEPTH DARK BROWN SHREDDED HARDWOOD MULCH AROUND ROOT SAUCER OF ALL TREES ISOLATED FROM PLANT BEDS.
- PLANTING SOIL SHALL BE 1:1:1 CONSISTING OF 33% SELECT LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND.
- COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
- MAINTAIN ALL PLANT MATERIALS, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE.
- COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- STAKING AND GUYING OF TREES OPTIONAL; MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
- SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION SYSTEM TO PROVIDE COVERAGE OF SOD AND PLANTING AREAS. SOD AND SHRUB AREAS TO BE ON SEPARATE ZONES. PROVIDE RAIN SENSOR. USE RAINBIRD OR APPROVED EQUAL COORDINATE WITH G.C.
- GENERAL & LANDSCAPE CONTRACTOR SHALL FOLLOW THE COUNTY/STATE SOIL & EROSION CONTROL SPECIFICATIONS FOR DISTURBED AREA STABILIZATION.
- FIRE HYDRANTS MUST HAVE 5' MINIMUM CLEARANCE. INSTALL PLANT MATERIAL SUCH THAT IT WILL PROVIDE A 5' CLEARANCE AROUND THE FIRE HYDRANT AT MATURITY.
- SIGNS AROUND INFILTRATION POND TO READ, "NOTICE: NO SNOW STORAGE WITHIN INFILTRATION BASIN"

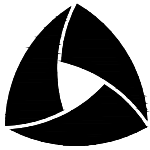
LANDSCAPE REQUIREMENTS

MASS GRADING WAS COMPLETED DURING PHASE 1. TREE REMOVALS AND MITIGATION REQUIREMENTS WERE APPROVED WITH 1ST ADDITION OF CANVAS AT INVER GROVE HEIGHTS. SEE CANVAS AT INVER GROVE HEIGHTS CONSTRUCTION DOCUMENTS FOR TREE REMOVALS AND INVENTORY AND FULL LIST OF TREE MITIGATION.

REQUIRED MITIGATION: 1,590 CALIPER INCHES
PROVIDED MITIGATION: 1,591.2 CALIPER INCHES

LANDSCAPE SCHEDULE

PHASE 2	FUTURE	KEY	COMMON NAME / SCIENTIFIC NAME	SIZE	NOTES
OVERSTORY TREES					
1		AB	Autumn Blaze Red Maple / Acer x freemanii 'Jeffersred'	3" Cal. B&B	Straight Trunk, No V-Crotch.
	7	DB	Dakota Pinnacle Birch / Betula platyphylla 'Fargo'	3" Cal. B&B	Straight Trunk, No V-Crotch.
3		GL	Greenspire Linden / Tilia cordata 'Greenspire'	3" Cal. B&B	Straight Trunk, No V-Crotch.
2		HB	Common Hackberry / Celtis occidentalis	3" Cal. B&B	Straight Trunk, No V-Crotch.
		KO	Kindred Spirit Oak / Quercus x warei 'Nadler'	3" Cal. B&B	Straight Trunk, No V-Crotch.
1		LL	Littleleaf Linden /Tilia cordata	3" Cal. B&B	Straight Trunk, No V-Crotch.
2		PE	Patriot Elm / Ulmus patriot	3" Cal. B&B	Straight Trunk, No V-Crotch.
4		PO	Pin Oak / Quercus alba	3" Cal. B&B	Straight Trunk, No V-Crotch.
	2	PS	Prairie Sentinel Hackberry / Celtis JFS-KSU1	2.5" Cal. B&B	Straight Trunk, No V-Crotch.
11	3	RB	River Birch / Betula nigra	2.5" Cal. B&B	Straight Trunk, No V-Crotch.
2		SG	Sienna Glen Maple / Acer x freemanii 'Sienna'	2.5" Cal. B&B	Straight Trunk, No V-Crotch.
3		SH	Skyline Honeylocust / Gleditsa tricanthos var. inermis 'Skycole'	3" Cal. B&B	Straight Trunk, No V-Crotch.
3	3	SM	Sugar Maple / Acer saccharum 'Bailsta'	2.5" Cal. B&B	Straight Trunk, No V-Crotch.
3		WO	Swamp White Oak / Quercus bicolor	2.5" Cal. B&B	Straight Trunk, No V-Crotch.
CONIFERS					
27	20	BF	Balsam Fir / Abies balsamea	6' ht. B&B	Full Form
31	27	BS	Blackhills Spruce / Picea glauca densata	8' ht. B&B	Full Form
93	62	Total Trees Proposed			



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CANVAS AT INVER GROVE HEIGHTS SECOND ADDITION

INVER GROVE HEIGHTS

FINAL PLAT & PUD SUBMITTAL

LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA

MARK KRONBECK, PLA, ASLA
1-31-2022
Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-31-2022	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	MK
DRAWN:	JG
PROJECT NO:	220-0092