



Inver Grove Heights Planning Commission
Tuesday, May 5, 2026 at 7:00 PM
8150 Barbara Avenue, Inver Grove Heights, MN 55077

AGENDA

NOTICE TO RESIDENTS: Individuals may submit written public comments in advance of the meeting by emailing comments to Stacy Bodsberg (sbodsberg@ighmn.gov). Comments received prior to 4:00 p.m. on Tuesday, May 5, 2026, will be provided to the Commission at or before the May 5, 2026 meeting.

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Consent Agenda**
 - A. Minutes of the April 7, 2026, Planning Commission Meeting.
5. **Public Hearing**
 - A. Table the Request by Darren Lazan, Landform Professional Services, for a Conditional Use Permit, Major Site Plan Review, and Easement Vacation on properties located at 1037 50th Street East, 4600 Akron Avenue and 4605 S. Robert Trail. *(Item has been tabled since the March 3, 2026, Planning Commission meeting)*
 - B. Request by Builders Lot Group, LLC for a Comprehensive Plan Amendment, Rezoning, Preliminary Plat and Preliminary Planned Unit Development (PUD) for 33-unit single-family homes and an apartment building located at 1400 70th Street and 7101 Argenta Boulevard.
6. **Regular Business**
7. **Commission and Staff Comments**
8. **Adjourn**

This document is available upon a three (3) business day request in alternate formats such as braille, large print, audio recording, etc. Please contact Stacy Bodsberg, Community Development Support Specialist, at 651.450.2545 or sbodsberg@ighmn.gov.

May 5, 2026 - Planning Commission Agenda

PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Tuesday, April 7, 2026 - 7:00 p.m.
City Council Chambers - 8150 Barbara Avenue

1. CALL TO ORDER

Chair Weber called the Planning Commission Meeting to order at 7:00 p.m.

The Pledge of Allegiance was recited.

2. ROLL CALL

Commissioner(s) Present: Jonathan Weber (Chair)
Scott Clancy (*Vice-Chair*)
Lance Twedt (Secretary)
Jason Teiken
Connor Gosell
Aida Schaefer
Robert Heidenreich
Amy Hunting
Dennis Wippermann

Commissioner(s) Absent: None.

Staff Present: Jason Ziemer, Community Development Director
Kevin Shay, Planning Manager
Stacy Bodsberg, Community Development Support Specialist

3. APPROVAL OF AGENDA

Motion by Twedt, Second by Clancy, to Approve the Agenda as Published.

Ayes: 9

Nays: 0 Motion Carried.

4. CONSENT AGENDA

A. Minutes of the March 3, 2026, Planning Commission Meeting.

Motion by Hunting, Second by Clancy, to Approve the Minutes as Submitted.

Ayes: 9

Nays: 0 Motion Carried.

5. PUBLIC HEARING

A. Consider a Request for Approval of a Major Site Plan Review on the expansion of the current dealership building, and development of a new parking structure and parking lot changes; a Conditional Use Permit for the proposed building height of the new parking structure, an Amendment for the expansion and replacement of the detailing center, and an Amendment to expand the current dealership building; and an Easement Vacation of an existing Stormwater Easement, and a Drainage Only Easement on property located at 4600 Akron Avenue and 1037 50th Street. (*Item was tabled at the March 3, 2026, Planning Commission meeting and will be tabled to the May 5, 2026, Planning Commission meeting*)

Motion by Twedt, Second by Schaefer, to table the item until the May 5, 2026, Planning Commission meeting.

Ayes: 9

Nays: 0 Motion Carried.

B. Consider a Request for Approval of a Major Site Plan Review for an Xcel Substation Expansion and a Variance from the Maximum Fence Height Requirements Located at 11548 Clark Road.

Reading of Public Notice

Commissioner Twedt read the Public Hearing Notice.

Presentation of Request

Planning Manager Shay presented a request for a Major Site Plan Review and Variance for the existing Xcel Substation located at 11548 Clark Road. The property is zoned I-2, General Industry and guided GI, General Industrial. The proposal includes a 3.8-acre expansion of the existing 49-acre site, a new northern access from Clark Road, and installation of a chain link security fence around the expanded Substation area.

Site Plan Standards Evaluation

- Structure Setbacks: Met
 - Required setback from Clark Road is 40 feet; proposed setbacks exceed 100 feet and meet City Code requirements.
- Road Access Location: Met
 - Proposed northern access is more than 800 feet from the existing southern access and meets spacing guidelines; reviewed and approved by Engineering.
- Impervious Surface and Stormwater: Met with conditions
 - Plan includes a new stormwater pond north of the expansion area; minor outstanding Engineering conditions remain to be addressed.
- Tree Preservation: Met with conditions
 - Tree inventory completed for the impacted area; mitigation may be required if removal exceeds 60% threshold, with option for fee-in-lieu.

Variance Criteria Evaluation

- Harmony with the City Code and Comprehensive Plan: Met
 - A federal mandate requires substations to have at least ten-foot-tall security fencing, using enhanced materials for durability and intrusion deterrence.
- Use of the Property in a Reasonable Manner: Met
 - The substation is already secured with substantial fencing.
- Unique Circumstances Not Created by Landowner: Met
 - This requirement is not due to circumstances created by the applicant, but rather a federal mandate.
- No Alteration to Essential Character of the Locality: Met
 - The surrounding area along Clark Road is entirely industrial in nature, and a ten-foot-tall fence will not adversely impact the character of the area.
- Not Based Solely on Economic Considerations: Met
 - The installation of a taller fence reflects a higher cost improvement rather than a cost-saving measure.

Recommended Action

Approval of the Major Site Plan Review and Variance to allow the Substation Expansion and installation of a ten-foot-tall fence at the property.

Commissioner Teiken stated that similar requests for a fence Variance have been approved previously and inquired if this request is the same type. Shay stated that the request is the second identical request but at a different location. Staff may consider a City Code Amendment to avoid future Variance requests.

Opening of Public Hearing

Bryan Sullivan, Xcel Energy, 414 Nicollet Mall, Minneapolis, Applicant, stated that he received and understood the staff report. He clarified that the project would include two ten-foot fences; the material of the fences is proposed to be chain link and expanded metal for added security. The expanded metal fence is more solid while still allowing visibility. Mr. Sullivan clarified that the item on tonight's agenda for a data center is not affiliated with this item.

Alex Bruns, 2406 Blueberry Street, inquired as to how the use of two different fence types meets the Economic Consideration criteria, noting that selecting a less expensive material for part of the site may not align with the intent of the Variance. He also requested clarification on the tree requirement, specifically how the fee-in-lieu option works and whether it allows payment in place of completing required landscaping improvements.

Shay stated that the Economic Considerations for the Variance relate to the fence height, not the fence material, as both proposed materials are permitted under City Code. A ten-foot fence is more expensive than a seven-foot fence, indicating the request is not driven by cost savings. For tree mitigation, applicants may either plant on-site or pay a fee-in-lieu, evaluated on a case-by-case basis. In this instance, a fee-in-lieu is recommended, as landscaping would be more beneficial in a public setting, with the final amount based on the site's tree inventory and applicable requirements.

Chair Weber closed the Public Hearing at 7:15 p.m.

Planning Commission Discussion

Commissioner Hunting stated that Xcel Energy has made similar improvements to a Substation she frequently passes. The ten-foot fence appeared clean and appropriate, that the proposed fence would likely improve the site's appearance, and landscaping around such a fence is not practical. There are no concerns with approval.

Motion by Wippermann, Second by Hunting, to Approve the Major Site Plan Review for the Substation expansion; and Approve the Variance from the maximum fence height of 7 feet to allow for a 10-foot-tall fence subject to the conditions listed in the staff report.

Ayes: 9

Nays: 0 Motion Carried.

This item is tentatively scheduled to go before the City Council on April 27, 2026.

C. Consider a Request for Approval of a Major Site Plan Review of the Proposed Development of an Approximately 55,000-Square-Foot Data Center located at 5890 Carmen Avenue.

Motion by Clancy, Second by Teiken, to enter the three resident emails into the public record.

Ayes: 9

Nays: 0 Motion Carried.

Reading of Public Notice

Commissioner Twedt read the Public Hearing Notice.

Presentation of Request

Planning Manager Shay presented the Major Site Plan Review for 5890 Carmen Avenue for a proposed data center. The 13.9-acre site is zoned I-1, Limited Industry and Guided Industrial Office Park. The former building on this site has been demolished. The proposed data center is a permitted use and includes a 54,070 square foot building, with the initial phase proposed up to 3-MegaWatt and the full build out proposed to be 5-MegaWatt, along with a closed-loop water system for cooling the equipment. The proposal is being reviewed for compliance with zoning standards, including structure setbacks, parking requirements, impervious surface, landscaping, screening, architecture, lighting, and trash enclosures.

Site Plan Standards Evaluation

- Building Setbacks - Met
 - The proposed building meets setback requirements, with 50 feet from the north property line and 40 feet from all other property lines.
- Parking Setback - Met
 - The parking setback meets requirements with a 20-foot front yard setback.
- Parking Spaces - Met
 - The proposal meets parking requirements by providing one stall per 2,000 square feet, with 28 required and 89 provided.
- Impervious Surface - Met
 - The impervious surface meets requirements, with 57% proposed compared to the 70% maximum allowed.
- Landscaping - Met
 - One tree is required per 1,000 square feet of gross floor area, totaling 55 trees. 15 existing trees will be preserved along the north lot line. The proposal includes the equivalent of 57 trees, consisting of a mix of overstory, evergreen, ornamental trees, and shrubs.
- Screening - Met
 - All ground-mounted mechanical equipment will be screened. The mechanical equipment yard will be enclosed by a 23-foot-tall screening wall, and smaller equipment in front will be screened by a 13.5-foot-tall wall.
- Architecture - Met
 - The building will use insulated metal panels with a zinc grey finish, along with limited glass for windows. The materials meet architectural requirements for the industrial district.
- Lighting - Met
 - Lighting will be shielded and limited to 1 foot-candle at the centerline of the street and 0.4 foot-candles at the north property line adjacent to residential properties.
- Trash Enclosure - Met
 - The trash enclosure will be screened and constructed of concrete masonry with a metal gate.

Shay stated that a neighborhood meeting was held on March 26, 2026, at the Veteran's Memorial Community Center, with approximately 175 attendees and significant public feedback. While not typically required, the meeting was held in advance of future applications.

Recommended Action

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Motion to approve the Major Site Plan Review for a new data center at 5890 Carmen Avenue, subject to conditions including a Site Improvement Performance Agreement, issuance of a building permit, resolution of staff review comments, and a Shared Maintenance Agreement upon subdivision of the lot for the stormwater basin. Outstanding Engineering comments are primarily related to stormwater and minor grading and do not affect the site layout.

Commissioner Schaefer inquired for clarification on how data centers are classified within the land use categories, noting difficulty finding the subject in the City Code and questioning why they are considered a permitted use.

Shay stated that data centers were not listed in the City Code prior to 2017 but were reviewed by the Planning Commission and City Council at that time. The outcome of that process was to designate data centers as a permitted use in certain districts, including Industrial and B-3, General Business where they are now specifically listed in the zoning table.

Commissioner Hunting questioned whether City Code limits building exteriors to being no more than one-third of metal.

Shay clarified that the City Code specifically restricts corrugated steel, not all metal, and that approved metal panel systems are permitted materials.

Commissioner Hunting inquired about a letter included in the packet requesting a response from the applicant and whether a response had been received.

Shay stated that a response had been submitted, but due to timing, staff were unable to fully review the letter prior to packet publication. Updated plans were received, and some revisions are reflected in the materials, but conditions remain until full review is completed, particularly regarding stormwater requirements under the City Engineer's review.

Opening of Public Hearing

Rayd Alfraihah, T5 Data Centers, 2151 W. Warren Boulevard, Chicago, IL 60612, stated that the staff report was received and understood. The neighborhood meeting was successful, and questions addressed.

Commissioner Schaefer stated that the project initially seemed straightforward but later questioned the electrical usage, noting that a 5-MegaWatt continuous load appeared closer to 3,000-5,000 homes rather than the small number mentioned earlier. Is concerned about potential impacts on Citywide demand and infrastructure.

Mr. Alfraihah clarified that the smaller comparison referred to water usage, not electricity, and confirmed the facility will use up to 5-MegaWatts once complete and 3-MegaWatts initially. He added that a dedicated, developer-funded electrical feed will be built, avoiding impacts on the existing grid.

Eric Simonson, Xcel Energy, 414 Nicollet Avenue, Minneapolis, stated that a 5-MegaWatt continuous load is approximately equivalent to the energy use of about 150 homes, noting the difference between steady commercial demand and fluctuating residential usage. The project will be supplied by a separate Substation, with the developer responsible for funding the necessary infrastructure.

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Commissioner Schaefer inquired as to whether the 150-home comparison referred to annual consumption or simultaneous usage.

Mr. Simonson confirmed it applies to both, explaining that a 5-MegaWatt data center runs continuously, equating to the total annual energy use of about 150 homes with fluctuating demand.

Commissioner Weber asked for clarification on the substation and direct feed.

Mr. Simonson explained that the project will be served by a separate substation with sufficient capacity, and as a public utility, Xcel Energy ensures service availability. The developer will fund the feeder infrastructure, and once operational, will pay for electricity like any other customer.

Commissioner Heidenreich questioned whether increased demand would require purchasing more power from the national grid and whether costs would be passed on to residents or limited to the data center.

Mr. Simonson stated that the consistent 5-MegaWatt load is predictable and already accounted for within existing capacity. Additional generation or system upgrades are not needed in this case, and the customer will pay for the usage like any other customer.

Commissioner Heidenreich stated that his background as an electrician, 5-MegaWatts is a significant load and estimated it could equal 3,000-5,000 homes based on typical household usage.

Commissioner Teiken inquired as to whether alternative energy sources, such as solar or other future options, had been considered for the development.

Mr. Simonson stated that Xcel Energy is in ongoing discussions with the developer and is working toward an agreement, though details are not yet public. This project is relatively small compared to larger data centers.

Commissioner Gosell asked for clarification on what an edge data facility does and what type of processing and data activity would occur.

Mr. Alfaihat explained that edge facilities support everyday technology by improving speed and efficiency of data processing for end users, such as faster access to applications. The specific use will depend on the eventual tenant, which has not yet been finalized. The facility will be built in phases, starting smaller and expanding to the full 5-MegaWatt capacity over time, and could serve a range of users, including large companies, handling varying types of data and workloads.

Commissioner Gosell, noting his background as a software engineer, inquired about design capacity and referenced the large noise wall, assuming it relates to cooling systems such as outdoor fans or heat exchange equipment.

Mr. Alfaihat stated that a sound wall is required and has been enhanced based on studies and neighborhood feedback to meet noise limits, targeting 45 dB at the property line (below the 50

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dB requirement). The site includes generators and chillers. Adjustments have been made to reduce noise impacts.

Commissioner Teiken inquired about the closed-loop cooling system, specifically how much water will be used, whether evaporated water will be captured, and the overall water source and usage.

Mr. Alfraihat stated that the closed-loop system uses air-cooled chillers and retains most of the water with minimal loss. Total water use is relatively low, about equal to four homes including domestic use, and calculations will be submitted with the building permit for review.

Commissioner Twedt inquired about the noise characteristics of the facility, specifically whether it would produce low- or high-frequency noise beyond what is typically audible.

Noah Brehmer, Kimley-Horn, 11995 Singletree Lane, Suite 225, Eden Prairie, stated that his firm completed the acoustic study and that low-frequency noise, while not locally regulated, was a key concern raised by residents. He explained they are targeting levels 5 dBA below the 50 dBA limit at property lines and are exploring mitigation measures such as silencers, louvers, and layout adjustments. He added they are also referencing industry standards and aiming for low-frequency levels 5 to 10 dBC below those benchmarks.

Commissioner Twedt questioned whether the noise reduction goals are realistically attainable.

Mr. Brehmer stated that initial modeling shows they are achievable, the analysis was not required in the submittal but will be verified after construction to ensure compliance.

Commissioner Schaefer inquired about generator noise, including the highest levels neighbors might experience and how often generators would run.

Mr. Brehmer stated that standard operations and testing will remain within limits, below 50 decibels at residential property lines, and that modeled noise is only slightly above ambient levels. He noted generator use is primarily limited to emergencies, with some testing, and is regulated by EPA air permits that cap emissions.

Commissioner Schaefer stated that she's concerned that generators can be loud, especially at night when background noise is lower, and inquired about variability during outages.

Mr. Brehmer stated that generators would primarily run during emergencies, which are allowed under ordinance, with limited testing outside of those situations.

Mr. Alfraihat stated that generators can reach 90 to 100 decibels at close range but include mufflers and enclosures to reduce noise. The applicable standard is measured at the property line, where a sound-rated wall reduces noise to about 50 dB, with a goal of 45 dB. Studies have been completed, and compliance will be required as part of permitting.

Commissioner Schaefer stated that residential homes are about 200 feet away and is concerned with the noise of the generators.

Mr. Alfraihat stated that the project is being carefully evaluated to avoid impacts, with adjustments already made such as relocating chillers and increasing the sound-rated wall to target 45 dB at the property line, potentially lower. Generators would operate only for brief

daytime testing (about 30-60 minutes) or during emergencies. The project must also meet strict Environmental Protection Agency (EPA) permitting requirements, including detailed modeling and an 8-9-month verification process to ensure compliance with noise and emissions standards.

Commissioner Twedt inquired on how compliance with noise and operational limits would be monitored daily.

Mr. Alfraihat stated that data centers are highly sophisticated facilities with 24/7 on-site staff, including engineering and security teams. Operations are continuously monitored through extensive sensors and data systems, with safeguards such as leak detection and fire suppression in place. Facilities also follow strict management standards, and experienced operations teams are expected to maintain continuous uptime and compliance.

Commissioner Hunting inquired as to why a metal exterior was chosen.

Mr. Alfraihat stated that the material fits the industrial setting, is not visually intrusive, and offers efficiency and constructability benefits. Landscaping and exterior improvements are expected to enhance the site's appearance.

Commissioner Hunting inquired as to whether the Applicant would be open to using different exterior material.

Mr. Alfraihat stated that decision is outside their authority and could not be addressed.

Commissioner Wippermann questioned whether the mechanical equipment yards are the primary source of noise, what other equipment generates noise, how often generators operate, and what the noise levels are when generators are not running.

Mr. Alfraihat stated that most noise comes from equipment in the mechanical yard, while the front of the building is not expected to produce noise beyond typical household levels. Other equipment includes a primary utility meter, automatic transfer switches, and switchgear transformers, though these produce relatively low noise, with chillers and generators being the main sources. Generators operate only during emergencies or limited monthly testing, typically 30 minutes to one hour, and would start automatically during outages. Emergency use is regulated through permitting. He added that chillers do produce some noise but are modeled to remain below required decibel limits. Exact non-generator noise levels were not immediately available, though generators are considered the primary noise source.

Commissioner Teiken inquired about daytime staffing levels.

Mr. Alfraihat stated that daytime staffing is expected to range from 6 to 10 people, with 2 to 3 staff on the overnight shift, depending on operational needs and phasing. Construction is anticipated to take 16 to 18 months, with most work occurring inside the building or within the generator yard and is expected to support local labor and provide economic benefits.

Commissioner Wippermann inquired for clarification on what, if any, air emissions would be generated by the facility.

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Mr. Alfraihahat stated that air emissions are regulated through EPA permitting, with required modeling and review currently in process. The project must remain below established compliance thresholds to receive permits.

Brad Carson, 401 North Houston, Dallas, Texas 75202, clarified that emissions would only come from generators during testing or emergencies, and that mechanical equipment itself does not produce emissions.

Commissioner Heidenreich inquired about generator capacity and whether multiple units would be used.

Mr. Alfraihahat confirmed there would be five primary generators supporting the load, along with a smaller administrative generator to maintain operations during outages.

Commissioner Heidenreich stated that he has concern about the high noise levels of large generators, noting they can exceed 100 dB and questioning whether acoustic walls, which typically reduce sound by about 25%, would be sufficient to bring levels down adequately.

Mr. Alfraihahat stated that noise reduction depends on the design and rating of the acoustic walls.

Mr. Carson stated that generators are enclosed in sound-attenuating housing rated around 85 dBA, with additional acoustic screening that absorbs sound and directs it upward rather than outward. Noise modeling accounts for all equipment and ensures compliance with a 45 dBA limit at the property line across the entire site. He noted that while generators can reach around 100 dB at close range, multiple mitigation measures significantly reduce noise at surrounding properties.

Bill Thornton, 7621 Addisen Path, stated that he is concerned that current City standards may not fully address impacts from modern data centers, particularly related to power demand, potential increases in electricity rates, and noise. In areas with significant data center development, high energy use has contributed to substantial increases in utility rates and said this issue had not been addressed in project discussions. Infrasound is a key concern, explaining that it can travel long distances, may not be captured by standard noise measurements, and could have health impacts. He questioned whether existing noise limits adequately account for these factors and whether sufficient mitigation and monitoring plans are in place, while also highlighting potential effects on nearby residents and the need for clearer information as the facility expands.

Heather Thornton, 7621 Addisen Path, referenced her experience working on data center facilities in the late 2000s and early 2010s and said modern data centers differ significantly from those evaluated in older studies. She urged reconsideration of classifying data centers under light industrial zoning, recommended adopting standards that address infrasound, and suggested pausing automatic approvals to allow time to better understand potential impacts on residents, animals, and the broader community.

Daphne Martin, 6215 Carleda Way, a student from Inver Grove Heights Middle School, expressed concern about the potential health and environmental impacts of a data center on the community. She noted that data centers can require large amounts of energy and may contribute to noise, light, and air pollution, which she said could affect public health. She referenced potential impacts such as stress, sleep disruption, and other health issues, and raised concerns about broader economic costs associated with data centers. Speaking on behalf of

younger residents, she emphasized concerns about growing up in an environment that could place added strain on the health and well-being of the community.

Tamara Martin, 6215 Carleda Way, stated that she lives about 500 yards from the proposed site and raised concerns about infrastructure capacity, including whether upgrades like substations or transmission lines would be needed and if costs could impact residents. She also questioned water usage details, including replenishment, pressure impacts, and drought considerations, noting that clear data had not yet been provided. She expressed concern about noise compliance and asked how it would be monitored over time, as well as potential environmental risks related to fuel or chemical storage, spill response, and stormwater contamination. She concluded that key questions remain unanswered and urged the commission to pause and reevaluate the proposal, considering community concerns.

Alex Brun, 2406 Blueberry Street, stated that he understood the commission's role is limited to determining whether the project meets zoning requirements established in 2017, making approval largely procedural if those standards are met. However, he raised concerns about requested variances related to shared stormwater systems, water supply, and noise, noting these could have long-term impacts and set precedents for future developments. He referenced a prior project where shared stormwater was a concern and questioned similar arrangements for this proposal, particularly given the division of the site.

Alex Diamond, 1359 4th Street East, St. Paul, stated that he has experience in the tech industry and expressed opposition to the project, arguing it could negatively impact the community and questioning whether developers would meet noise and environmental commitments. He raised concerns about health effects, industry practices, and a lack of detailed answers during the meeting. He also questioned the project's overall benefit, noting limited local employment and potential broader job impacts, and urged the commission to weigh these factors carefully.

Jon Mathisrud, 6080 Claude Way, stated that data centers can produce vibration and noise and questioned whether those impacts could disturb employees or affect their work environment.

Veronica Meyer, 6130 Boyer Path, questioned where the water for the closed-loop system would be sourced, noting that it would require replenishment over time and questioning whether it would come from City resources. She also questioned how annual energy use could be accurately projected given seasonal fluctuations and asked what operations would be maintained during power outages, including whether lighting and other systems would remain in use.

Zachary Gullerud, 7090 River Road, raised concerns about energy usage, citing estimates that a 5-megawatt data center could consume 36,000 to 43,000 megawatt-hours annually, which they said could be comparable to the energy use of thousands of households. He questioned whether the project represents efficient use of land given the relatively small number of jobs created and asked whether the impact could increase if the facility expands in the future.

Brenda Sabistina, 10380 Brent Avenue, stated that she is opposed to the project and asked whether the closed-loop cooling system uses chemicals and if there is any risk of discharge into the water supply. She also noted that details on initial water use and ongoing replenishment have not been clearly provided.

Chair Weber closed the Public Hearing at 8:34 p.m.

Planning Commission Discussion

Commissioner Heidenreich stated that he initially supported the proposal at the neighborhood meeting but, after further research, raised concerns about underestimated impacts related to electrical usage, water usage, and noise. Noted a lack of verifiable information and transparency, expressed distrust in the developers, and stated opposition to the proposal.

Commissioner Schaefer raised concerns about outdated regulations and lack of City policy to properly evaluate the proposal. Noted high energy use, low job creation, insufficient information, and feeling misled, and opposition expressed in its current form.

Chair Weber clarified that the commission's role is limited to evaluating land use and zoning compliance, noting that a data center is a permitted use in the district and that the proposal aligns with City Code.

Commissioner Schaefer questioned whether the proposal is truly allowed, noting that the City Code is silent on data centers and does not clearly define what is permitted.

Commissioner Hunting stated that after visiting the site, she observed that most surrounding buildings are constructed with concrete and that a metal structure would not fit the area's character. She expressed concern that a metal building would be visually incompatible with the existing development.

Chair Weber noted that the proposed building materials differ from older corrugated metal structures and described them as more modern. However, he expressed concern that the plans resemble a typical pole building and requested clearer visuals or materials to better understand the intended design.

Shay explained that the proposed building material is insulated metal siding, similar in concept to lap or vinyl siding, and noted it is permitted under the City Code. While design changes can be requested, they cannot be required if the proposal meets City Code standards.

Chair Weber asked for clarification on whether the proposed metal siding is comparable to modern large-scale commercial buildings, such as newer warehouse designs.

Shay stated that he could not confirm a direct comparison to specific examples.

Commissioner Hunting added that nearby airport structures are metal buildings resembling storage sheds and expressed concern that the proposal could appear similar, reiterating her preference for concrete materials to better match surrounding buildings.

Commissioner Heidenreich stated that although the proposal is said to meet City Code requirements, he does not believe the impacts have been fully researched or accurately presented. He expressed concern about lack of verified data, potential changes after construction, and a lack of trust in the information provided, suggesting denial or a moratorium until better information is available.

Commissioner Teiken agreed with prior concerns, noting that the City Code is unclear and outdated given the growth of data centers. He emphasized unanswered questions and expressed a cautious approach, suggesting the need for clearer City standards.

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Commissioner Heidenreich made a motion to deny the site plan review, citing lack of information and the need for clearer standards, including noise impacts.

Shay clarified that denial must be based on findings supported by City Code and that factors outside City authority cannot be used as justification.

Commissioner Heidenreich reiterated his motion to deny, stating he does not trust the information provided.

Chair Weber stated that the commission's decision must be based on findings of fact tied specifically to the information in the record and City Code.

Commissioner Gosell made a motion to recommend denial of the application, citing uncertainty about whether data centers should be allowed in the I-2, General Industry zoning district and recommending the City Council evaluate their appropriateness in I-1, Limited Industry and I-2, General Industry zoning districts.

Chair Weber responded that data centers are currently a permitted use under the City Code as of the application date.

Shay clarified that, under existing rules, data centers are clearly listed as a permitted use in the I-1, Limited Industry zoning district, and this cannot be used as a basis for denial.

Commissioner Gosell asked what options are available to recommend denial while also expressing opposition to data centers in both of those districts.

Shay reiterated that data centers are a permitted use under Section 1062 of the City Code across multiple zoning districts, including I-1, Limited Industry and I-2, General Industry.

Commissioner Schaefer asked whether there is a formal definition of a data center in the City Code.

Community Development Director Ziemer provided the definition, explaining that a data center is a facility used to house computer systems and related components for storing, managing, and distributing data.

Shay explained that staff must evaluate proposals based on the current City Code in place at the time of application and cannot apply standards that do not exist. He stated that the proposal meets the conditions required for site plan review and that issues such as noise fall under the authority of other regulatory agencies. He added that a moratorium or policy changes would need to be addressed by the City Council, and that denial would require specific findings showing noncompliance with City Code.

Chair Weber stated that the commission's role is to evaluate land use and compliance with City Code, noting that the proposal meets those standards and should move forward to the City Council for further consideration. He emphasized that broader policy decisions fall to the Council.

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Commissioner Gosell acknowledged that the developer has met the required standards and indicated support for approval as written, while noting that prior discussions and motions may signal concerns for the City Council to consider.

Chair Weber added that a motion to approve with recommendations is an available option.

Motion by Gosell, Second by Hunting, to Approve the Major Site Plan Review to construct a data center subject to the conditions included in the staff report, with the recommendation for further review.

Ayes: 6

Nays: 3 (Wippermann, Schaefer, Teiken) Motion Carried.

This item is tentatively scheduled to go before the City Council on April 27, 2026.

6. REGULAR BUSINESS

None.

7. COMMISSION AND STAFF COMMENTS

Planning Manager Shay provided updates on prior items, noting that the cell tower application will go to City Council on April 27th and that a separate plat application has already been approved. He also explained that the commission will now meet once per month following a recent Ordinance change, with additional meetings held only as needed. The Ordinance is in effect following the City Council approval on March 24th.

8. ADJOURN

Motion to adjourn the meeting at 8:54 p.m.

Respectfully submitted by Tammy Greenlee, Recording Secretary.



Planning Commission Report

MEETING DATE:	May 5, 2026
CASE NO:	26-05CUP-SP-VAC
APPLICANT:	Darren Lazan, Landform Professional Services
PROPERTY OWNER:	LKMCD Properties, LLC
REQUEST:	Conditional Use Permit, Major Site Plan Review, and Easement Vacation
LOCATION:	1037 50 th Street East, 4600 Akron Avenue and 4605 S. Robert Trail
COMPREHENSIVE PLAN:	RC, Regional Commercial
ZONING:	B-3, General Business
STAFF CONTACT:	Kevin Shay, 651-450-2554

ACTION REQUESTED

Table the request from Darren Lazan, Landform Professional Services for a Conditional Use Permit, Site Plan Review and Easement Vacation.

BACKGROUND

This item was tabled at the March 3rd and April 7th Planning Commission meetings. The applicant has granted the City an extension to the application as they are still working through design options and have requested the item be tabled to the next agenda.

EVALUATION OF REQUEST

ALTERNATIVES

RECOMMENDATION

ATTACHMENTS

None



Planning Commission Report

MEETING DATE:	May 5, 2026
CASE NO:	26-01RZ-CPA-PP-PUD
APPLICANT:	Builders Lot Group, LLC
PROPERTY OWNER:	Glenlin Properties, LLC
REQUEST:	Comprehensive Plan Amendment, Rezoning, Preliminary Plat & Preliminary Planned Unit Development (PUD)
LOCATION:	1400 70th Street West and 7101 Argenta Boulevard
COMPREHENSIVE PLAN:	MU, Mixed Use
ZONING:	A, Agricultural
STAFF CONTACT:	Benjamin Schneider, 651-450-2569

ACTION REQUESTED

Conduct a Public Hearing and consider a request from Builders Lot Group, LLC (“Developer”) for a Comprehensive Plan Amendment, Rezoning, Preliminary Plat, and Preliminary Planned Unit Development (PUD) for a development that includes 33 single-family lots and an apartment building.

BACKGROUND

The project site includes two parcels located in the Northwest Area Overlay District at the southeast corner of 70th Street West and Argenta Boulevard, totaling 13.6 acres (“Subject Property”). The plans show an apartment building on the northern portion and 33 single-family lots on the southern half of the Subject Property. The proposed development would integrate with the adjacent Peltier Reserve neighborhood to the east, which also includes a mix of single-family homes and an apartment building. This project is proposed to be developed in two phases with the single-family lots as the first phase.

The Subject Property is currently guided for Mixed Use and zoned A, Agricultural. The requests include a Comprehensive Plan Amendment, Rezoning, Preliminary Plat, and Preliminary PUD.

SURROUNDING USES

LOCATION	ADJACENT USE	ZONING	LAND USE
North	Single-Family	R-1C/PUD, Low Density Residential/Planned Unit Development	LDR, Low Density Residential
East	Multi-Family and Single-Family	R-3C/PUD, High Density Residential/Planned Unit Development and R-1C/PUD, Low Denisty Residential/Planned Unit Development	MU, Mixed Use

West	Townhomes	R-3C/PUD, High Density Residential/Planned Unit Development	MU, Mixed Use
South	Single-Family	R-1C/PUD, Low Density Residential/Planned Unit Development	MDR, Medium Density Residential

EVALUATION OF REQUEST

COMPREHENSIVE PLAN AMENDMENT

Background and Analysis

The Subject Property is currently guided MU, Mixed Use. Per the Comprehensive Plan, this land use guidance allows for commercial, office, or high-density residential uses. The single-family portion of the project has a proposed density of 3.4 units per acre, which is less than the required minimum density of 12 units per acre for the Mixed Use land use guidance. The Developer is therefore requesting a Comprehensive Plan Amendment to change the future land use from Mixed Use to LDR, Low Density Residential. The lot with the apartment building would remain Mixed Use.

Notably, the density of the entire project site, including the 196-unit apartment building and the 33 single-family lots, is 16.8 units per acre, which exceeds the minimum density threshold of 12 units per acre for Mixed Use. Metropolitan Council staff have advised City staff that the blending of the density between the two sites will still require a Comprehensive Plan Amendment for this circumstance.

The 2040 Comprehensive Plan includes broad categories of development policy areas throughout the City. The Subject Property is within the “Future Development Area.” Below are some of the specific policies identified for this policy area:

1. Create planned neighborhoods with common facilities and amenities that establish a sense of identity and that help promote long-term maintenance and value stability.
2. Create a quality living environment that is adapted to the natural environment.
3. Establish a local street system that deters the use of collector and arterial streets for local vehicular trips.
4. Encourage diverse housing styles consistent with the inherent characteristics of the site.

In the attached project narrative, the Developer notes that the Subject Property has steep grades that would make it challenging to construct an attached townhome product where the single-family homes are proposed. They also note the mix of an apartment building and single-family homes is consistent with the existing neighborhood to the east.

Evaluation of Request

The following represent the rationale for supporting the Comprehensive Plan Amendment request:

1. The proposed density of the whole project area is consistent with the current Mixed Use land guidance. The Developer is meeting the intended density goals of this area.
2. The proposed development is substantially similar to the Peltier Reserve neighborhood to the east. The similarities include the mix of apartment and single-family uses, the size and dimensions of the single-family lots, and the location of the apartment buildings. The apartment lots would be adjacent to one another along 70th Street West. This is consistent with the stated goal above of establishing a sense of neighborhood identity.
3. Developing single-family lots rather than an attached product reduces the amount of significant grading, which promotes the goal of encouraging housing styles that are consistent with inherent site characteristics.

REZONING

The Subject Property is currently zoned A, Agricultural. The Developer is requesting to rezone the proposed apartment lot to R-3C/PUD and the single-family lots to R-1C/PUD to match the proposed land use. The PUD zoning is a requirement in the Northwest Area Overlay District. There are City Code flexibilities requested as a part of the PUD zoning, which will be covered later in this report.

PRELIMINARY PLAT

Plat Name and Legal Description

The Preliminary Plat is proposed as "Peltier Reserve 4th Addition." The proposed corresponding legal description is Lots 1 through 8, Block 1; Lots 1 through 7, Block 2; Lots 1 through 5, Block 3, and Lots 1 through 14, Block 4.

Lot Configuration and Site Layout

The Preliminary Plat shows 33 lots for single-family homes and one lot for the proposed apartment building. An outlot of about 1.4 acres is proposed for a stormwater infiltration basin. This outlot is situated on the west side of the Subject Property along Argenta Boulevard.

Streets and Sidewalks

The proposed streets connect 71st Street West and 72nd Street West from the Peltier Reserve neighborhood to Argenta Boulevard. The 71st Street West connection will require a new right turn lane on Argenta Boulevard and the 72nd Street connection will tie into the existing access near the southwest corner of the Subject Property. The Dakota County's Plat Commission has reviewed and approved the proposed street connections. Sidewalks are shown on one side of the street throughout the project as required.

Parks and Trails

The Parks and Recreation Commission has reviewed this project and has recommended a cash payment in lieu of dedicating parkland. No park trails are proposed, although the proposed sidewalks will provide a pedestrian connection to the trail along Argenta Boulevard.

Phasing

The Developer has submitted a phasing plan as required in the City Code. Phase One is the single-family lots; Phase Two is the apartment site. Since the apartment is not included in the first phase, the Developer is not required to submit detailed architectural plans. The Developer intends to do preliminary grading of the apartment lot at the time of grading the single-family lots and sell the apartment lot to a different developer/builder thereafter.

PRELIMINARY PUD – DEVELOPMENT STANDARDS REVIEW

This section will review the development against the required development standards. The next section will summarize the PUD flexibilities that are being requested.

Lot Size and Lot Width

The apartment lot is just under four acres, far exceeding the required one-acre minimum size and the required minimum lot width of 100 feet in the R-3C District.

Given the curvilinear nature of the streets, the single-family lots vary in size and width. The lot sizes range from 6,743 square feet to 11,969 square feet. The minimum lot size in the R-1C District is 12,000 square feet for interior lots and 12,500 square feet for corner lots. All single-family lots will therefore require flexibility for lot size requirements.

The proposed minimum lot width is 50 feet, while some lots are closer to 55, 60, 65, 75, and 80 feet. The minimum required lot width in the R-1C District is 85 feet for interior lots and 100 feet for corner lots. Only two of the lots meet these requirements, meaning the other 31 lots will require PUD flexibility.

Setbacks

The tables below summarize the required and proposed setbacks. Proposed setbacks that are underlined will require PUD flexibility. Some of the proposed setbacks are reported as a range. Detailed flexibility requests for each lot are analyzed in the “Requested PUD Flexibilities” section.

Setbacks — Apartment Lot	Required	Proposed
Front Yard Setback along 70th Street West	40 Feet	72 Feet
Front Yard Setback along Argenta Boulevard	40 Feet	<u>21 Feet</u>
Rear Yard Setback along Eastern Property Line	30 Feet	55 Feet
Side Yard Setback of Apartment lot along Northern Property Line	20 Feet	22 Feet

Setbacks — Single-Family Lots	Required	Proposed
Front Yard Setback	20 Feet	20-25 Feet

Front Yard Setback - "Corner Side"	20 Feet	<u>15</u> -20 Feet
Front Yard Setback - "Corner Side" along Argenta Boulevard (Major Collector Road)	40 Feet	<u>5</u> -15 Feet
Side Yard Minimum Structure Separation	20 Feet	<u>10</u> -20 Feet
Rear Yard Setback	30 Feet	<u>17.7</u> -30+ Feet

Tree Preservation and Landscaping

The Developer is proposing to clearcut the trees currently on the Subject Property. A total of 1,209 caliper inches is required to be mitigated as a result. The landscape plan shows a total of 700 caliper inches being planted. The plan also calls out an additional 330 caliper inches of builder trees and the equivalent of 40 caliper inches of shrubs on the apartment lot, but these plantings are not shown on the plan. Staff added a condition of approval that the Developer must either show these additional plantings on the plan or remove the plantings from the calculations. The developer will be required to pay a fee in lieu of the balance of caliper inches that are not mitigated.

There are 36 trees proposed on the Dakota County right-of-way to the west of the apartment lot. The Developer is currently working with the County to receive approval to plant these trees. If this approval is granted, the City will require a Maintenance Agreement to ensure that the adjacent property owner or HOA is responsible for maintaining the trees.

The City Code requires one tree planting per apartment unit and one "street tree" per single family lot. For a 196-unit apartment building and 33 single-family lots, 229 trees are required to satisfy landscaping requirements. The plans show 244 trees on the Subject Property, which exceeds the minimum requirement. Notably, this total does not include the proposed Dakota County right-of-way trees, nor the additional trees referenced in the calculations that are not shown on the plan.

Natural Areas/Open Space

All developments in the Northwest Area Overlay District require 20 percent of the net developable area to be preserved for natural area/open space. The net developable land for the Subject Property is 13.62 acres, or 593,377 square feet. Out of this, 20 percent of land, and at least 50 percent is required to be undisturbed. There is also a requirement for at least 75 percent of the open space to be contiguous. The table below shows what the Developer is proposing for natural areas/open space. Proposed square footage that is underlined will require PUD flexibility.

Natural Area/Open Space Feature	Required	Proposed
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Total Natural Area/Open Space	118,675 Square Feet	143,372 Square Feet
Total Undisturbed Natural Area/Open Space	59,338 Square Feet (50%)	<u>0 Square Feet</u>
Total Contiguous Open Space	89,006 Square Feet (75%)	<u>59,002 Square Feet (50%)</u>

Impervious Surface and Building Coverage

The maximum impervious surface coverage in the Northwest Area Overlay District is 65 percent for lots zoned R-3C and 25 percent for lots zoned R-1C. This is measured by the project area for each zoning district rather than on a per-lot basis. The developer is proposing 62.3 percent impervious surface coverage on the apartment lot and 30.2 percent impervious surface coverage on the single-family portion of the plat. PUD flexibility is required for the single-family impervious surface.

The apartment lot is subject to an additional standard that limits the total building coverage to 20 percent. The Developer is requesting flexibility to have 27 percent of building coverage.

Parking

The required parking for the apartment lot is calculated as follows:

- Two stalls per unit with one enclosed = 392 spaces (196 enclosed)
- One guest parking space per six units = 33 spaces
- The Northwest Area Overlay District allows for a 25 percent reduction in the total number of parking spaces that would otherwise be required.
- Therefore, a total of 319 parking spaces is required. The plans show 319 parking spaces, including 247 enclosed stalls.

The single-family lots will include garages, which satisfy parking requirements.

REQUESTED PUD FLEXIBILITIES

A summary of the requested PUD flexibilities is detailed below, including the rationale for supporting the requests.

PUD Flexibility Requests	
Whole Project Site	Rationale
1. Having 0% of natural area/open space that is undisturbed, whereas half of the required open space is required to be undisturbed.	The plans show over a half-acre of additional natural area/open space than the minimum requirements.

<p>2. Having 50% of the required natural area/open space contiguous with no dimensions less than 100 feet, whereas the City Code requires at least 75%.</p>	<p>The open space in the single-family portion of the project is 100% contiguous. The open space in the apartment site is almost 100% contiguous, aside from the landscaped area between the parking lot and apartment. The Developer is meeting the spirit and intent of the standard.</p>
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<p align="center">PUD Flexibility Requests</p>	
<p align="center">Single-Family Lots</p>	<p align="center">Rationale</p>
<p>3. Front Yard Setback of 5 feet on the “Corner Side” of Lot 1, Block 1, whereas 40 feet is required for setbacks along major collector road.</p>	<p>This proposed lot abuts a unique strip of Dakota County right-of-way that could be considered “excess.” If approved, the home would be about 80 feet from the edge of the County Trail and about 130 feet away from the road. Also, this lot would be further from Argenta Boulevard than the 2 lots mentioned in the next flexibility request.</p>
<p>4. Front Yard Setback of 15 feet on the “Corner Side” for Lot 1, Block 4 and Lot 14, Block 4, whereas 40 feet is required along a major collector road.</p>	<p>The landscape plan includes 9 trees on each of these lots in between the homes and the property line along Argenta Boulevard. This landscaping exceeds the City Code requirements and provides adequate screening.</p>
<p>5. Front Yard "Corner Side" Setback of 15 feet, whereas 20 feet is required.</p>	<p>The Peltier Reserve project received this same flexibility, so this standard is consistent with the larger neighborhood.</p>
<p>6. Side Yard Setback of 5 feet, whereas 20 feet structure separation is required.</p>	<p>The Peltier Reserve project received this same flexibility, so this standard is consistent with the larger neighborhood.</p>
<p>7. Rear Yard Setback of 17.7 feet Lot 1, Block 3 and 27 feet for Lot 5, Block 3, whereas 30 feet is required.</p>	<p>These 2 proposed lots are on the same side of the street and abut the southern edge of the Property. The requests reflect the closest point of the proposed building pads from the rear property line. In both cases, only a portion of the proposed building pads would encroach on the setback. Also, the 3 proposed homes in between these 2 lots have proposed rear setbacks of over</p>

	<p>50 feet, far exceeding City Code requirements. There are an additional 13 proposed lots in the proposed plat that exceed the 30 feet rear yard setback requirement.</p>
<p>8. Rear Yard Setback of 25.2 feet and 24.5 feet for Lots 2 and 3 of Block 4 respectively, whereas 30 feet is required.</p>	<p>In both cases, less than 50% of the building pads encroach on the rear setback line. These lots also abut the 1.4-acre stormwater basin outlot.</p>
<p>9. Minimum lot size between 6,743 square feet and 11,969 square feet, whereas the minimum lot sizes in the R-1C Zoning District are 12,000 square feet for interior lots and 12,500 square feet for corner lots.</p>	<p>The range of proposed lot sizes is consistent with the adjacent Peltier Reserve Development. That project also included lots as small as 4,817 square feet and others in the 5,000-6000 square feet range, so the lot size deviations of this project would be less in comparison. In general, lot sizes under 12,000 square feet are increasingly typical in the housing market throughout the metro area.</p>
<p>10. Minimum Lot Width between 50 feet and 81.72 feet, whereas the minimum lot width in the R-1C Zoning District is 85 feet for interior lots and 100 feet for corner lots.</p>	<p>Similar to the proposed lot sizes, the proposed lot widths are not as small as the adjacent development. Peltier Reserve includes lots as narrow as 38 feet.</p>
<p>11. Impervious Surface of 30.2%, whereas the maximum impervious surface is 25% for the single-family site.</p>	<p>The Developer is proposing to treat all stormwater on site via two infiltration basins. Infiltration is the preferred stormwater management treatment in the Northwest Area. Also, the apartment site is 2.7% under the maximum impervious surface limit.</p>

PUD Flexibility Requests	
Apartment Lot	Rationale
12. Front Yard Setback of 21 feet along Argenta Boulevard whereas 40 feet is required along major collector streets.	This setback line is adjacent to the “excess” Dakota County right-of-way. The apartment building would therefore be over 150 feet away from the road. The Developer is also proposing to plant 36 trees in the excess right-of-way area to provide screening.
13. Building coverage of 27 percent whereas the maximum allowed is 20 percent.	The project as a whole has over a half-acre of additional open space than what is required by City Code. The Developer is also proposing several trees surrounding all sides of the apartment, exceeding Code requirements and mitigating potential concerns of building mass.

DEPARTMENT REVIEWS

Public Works and Engineering

Engineering staff reviewed the plans for compliance with grading, drainage, utility, and stormwater requirements. The Developer has addressed their comments.

Police and Fire

The plans were shared with the Police and Fire Departments. No comments were received from either department.

WETLANDS

There are no wetlands identified on the Subject Property.

DEVELOPMENT CONTRACT

The Developer and Owner shall enter into a Development Contract and other associated agreements with the City. The list of agreements and details of the contract will be discussed with the applicant, city attorney and staff as part of the final PUD review. All the agreements will be approved by the City Council as part of the final PUD review.

ALTERNATIVES

The Planning Commission has the following actions available on the proposed project:

A. Approval. If the Planning Commission finds the application acceptable, the Commission should make the following recommendations:

- Approval of the Comprehensive Plan Amendment, Rezoning, Preliminary Plat and Preliminary PUD subject to the following conditions:
 1. Prior to Preliminary PUD approval, written permission is required from Dakota County to allow the proposed tree plantings in the Dakota County right-of-way. Additionally, a Maintenance Agreement must be executed to assign maintenance responsibilities of these trees to either the adjacent property owner or a homeowner's association (HOA).
 2. Prior to Preliminary PUD approval, the landscape plan must be updated to remove trees that are not shown on the plan from the calculations table.
 3. The Comprehensive Plan Amendment request must be approved by the Metropolitan Council.
 4. Prior to Final Plat and Plan approval, the final grading, drainage and erosion control, street plans and utility plans shall be approved by the City Engineer and subject to all conditions noted by the City Engineer and consultants in their review memos.
 5. The PUD shall be approved with the flexibilities outlined in the "Requested PUD Flexibilities" section of this report.
 6. Drainage and Utility Easements shall be provided on the final plat as required by the City Engineer.
 7. Park Dedication shall be made in the form of a cash contribution based on the recommendation of the Parks and Recreation Advisory Commission.
 8. Prior to execution of the plat by the City and prior to recording of the plat with the County, the Developer must pay the City utility plat connection fees consisting of a Water Utility Fee, Sanitary Sewer Utility fee and Storm Water Sewer Utility fee according to the formulas adopted by City Ordinance.
 9. The Developer and Owner shall enter into a Development Contract with the City.
 10. Street lighting shall be required along all public streets. The street lighting plans shall be approved by the City prior to installation.

B. Denial. If the Planning Commission does not favor the requests, a recommendation of denial

should be forwarded to the City Council. With a recommendation of denial, findings or the basis for the denial should be given.

RECOMMENDATION

The project complies with all performance standards of the Northwest Area Overlay District except for the flexibility requested.

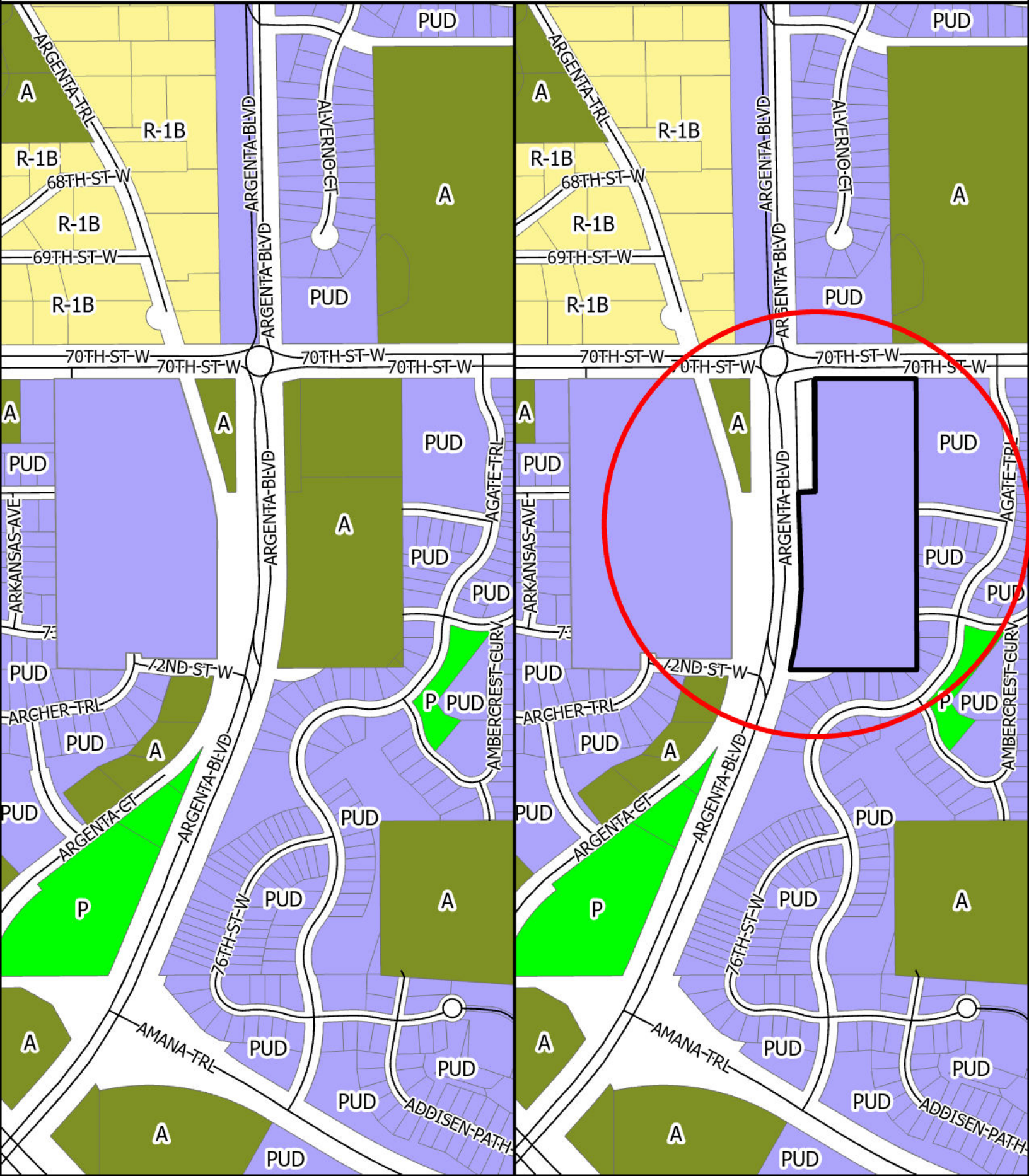
Staff is supportive of the flexibility requests and would recommend approval of the requests as presented with the conditions listed.

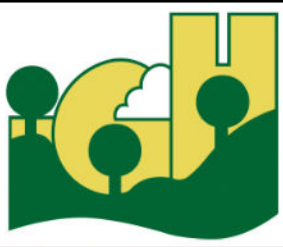
ATTACHMENTS

1. Zoning Map
2. Land Use Map
3. Applicant Narrative
4. Civil Plans
5. Landscape Plan

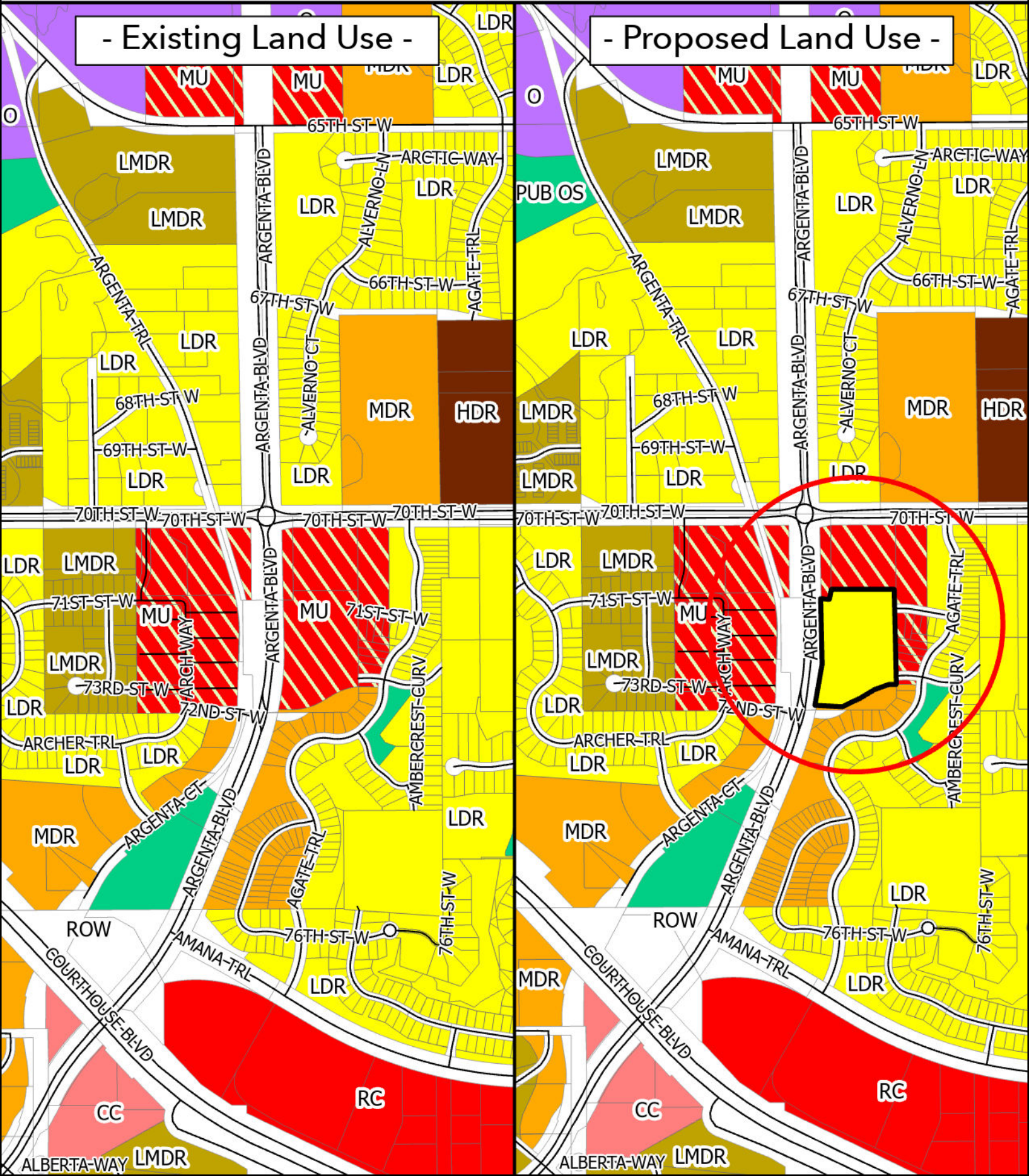


Peltier Reserve 4th Addition Proposed Zoning





Peltier Reserve 4th Addition Proposed Future Land Use Change



April 13, 2026

Peltier Reserve 4th Addition
Narrative for Comprehensive Plan Amendment, Rezoning,
Preliminary Plat, and Preliminary PUD

Builders Lot Group (BLG) has entered into a purchase agreement with Glenlin Properties and Glen Sachs for the development of approximately 13.7 acres at the southeast quadrant of Argenta Trail and 70th Street. BLG intends to develop the 13.7-acre parcel with 33 single-family lots on the southern end of the property, and a 196-unit, four-story apartment building on the north end of the property. A preliminary plan is included with the application for reference to the proposed project layout. The project combines a 196-unit apartment building with a thoughtfully designed single-family neighborhood, advancing the City's long-term vision for orderly growth, housing diversity, and fiscally responsible development.

Since the single family portion of the project does not align with the current Mixed Use land guidance. BLG is applying for a Comprehensive Plan Amendment for this area to designate the south property for Medium Density residential uses in the proposed site plan. The Multifamily use is allowed in Mixed Use land guidance so that area will remain unchanged.

The request to allow single-family detached homes instead of attached units in the Medium Density area is driven by three key factors: market demand, neighborhood compatibility, and the desire to create a balanced housing mix. The site is challenged by both existing and planned grades, making attached housing impossible without extraordinary measures. The 196-unit apartment building adds high-quality rental housing at a time when the region continues to experience supply shortages. The single-family homes complement the apartment by offering ownership opportunities that remain in high demand.

The application also includes a request to rezone the property to a PUD designation, consistent with the adjacent Peltier Reserve project that Builders Lot Group developed. The PUD tool allows the city to approve a better overall project than would be possible under strict zoning. The requested flexibility is modest, targeted, and justified by site conditions, including topography, stormwater needs, and existing roadway alignments. The requested PUD flexibility in the lot requirements is outlined below:

- 1) A 5ft side yard setback to increase density, more like attached homes, but providing more privacy without a common wall. This setback is consistent with the Peltier Reserve project.
- 2) A 15 ft. side yard setback at the corner lots, to increase density and align with the Peltier Reserve PUD side yard setback.
- 3) A rear yard setback of 17.7' on Lot 1, Block 3, instead of the 30' typical front and rear yard requirement. This requirement is requested due to the 72nd Street connection to Argenta Boulevard being an established street. A rear yard setback of 27 ft on Lot 5, Block 3 due to the irregular shaped lot. A rear yard setback of 24.5 ft and 24.2 ft on Lot 2 and 3 of Block 4 due to the irregular lot shape and the constraint of the pond lot.
- 4) In addition to the lot setbacks, the project is requesting lot size and width PUD flexibility from the R-1C District standard minimum lot size of 12,000SF for interior lots, and 12,500SF for

corner lots to increase density. The proposed residential lots range from 7,000 SF to 9,000 SF, aligning with the City's goal of denser residential development. The density also addresses consumer demand for single-family detached housing rather than attached housing.

- 5) The request for square footage flexibility corresponds to a similar request for the width to be below R-1C requirements of 85 ft. for interior lots and 100 ft. for corner lots. Our requested minimum lot width is 40' to meet the desired density.
- 6) Undisturbed open space of 0% is requested since the existing terrain drops approximately 50 ft. across the site, and mass grading across the open space is required to provide for stormwater management areas and a level pad for the apartment site.
- 7) Building coverage of 27% is requested for the multifamily site to help increase density for the overall project.
- 8) 58% contiguous open space is requested. This percentage is reduced due to the placement of the retaining wall within extended lot sizes to prevent the wall from being within City owner property. The central ponding area exceeds 100 ft. minimum width. The contiguous open space deficiency is mitigated by exceeding the total open space requirement, with the project proposing 144,456 SF, compared to the 20% total open space requirement of 102,165 SF in NWA. Also, the project will benefit from the adjacent (unbuildable) county-owned parcel next to the multifamily site. This undevelopable open space measures 33,589 SF in addition to the open space we are providing.
- 9) Flexibility from the 50 ft. setback along Argenta Boulevard for two of the single-family lots. This flexibility is requested because the space is approximately 75 ft. from the roadway, with significant green space and a trail separating the home sites from the roadway. The landscape plan also includes conifers as a buffer between the two lots adjacent to Argenta Trail.

The project team requests PUD flexibility to meet project goals and work within existing site constraints, including established alignments for 71st and 72nd Streets. The excess soil volume generated by elevations for the existing roadway connections needs to be addressed by removing a considerable amount of material from the project site. Key benefits of granting flexibility include more efficient land use, reduced grading impacts, a stronger neighborhood layout, improved open-space connectivity, and better architectural outcomes.

The proposed unit count of 229 residential homes allocates 72 percent to single-family homes and 28 percent to multifamily homes. This exceeds the minimum count anticipated under the current Mixed-Use guidance, based on the minimum densities for low-density single-family (2 units per acre) and mixed-use (12 units per acre). The combination of multifamily and single-family homes generates a strong, stable tax base that supports City services without requiring new public facilities.

The entire site will be graded as a single phase, with all utilities and stormwater facilities installed for the single-family portion. The multifamily portion will have stubbed utilities from the proposed street and will be rough graded per plan. Utility connections for the multifamily site will be constructed once the final layout of the multifamily building is known, during the second phase of the project.

The project will include high-quality homes that align with the adjacent developments and help meet the demand for more single-family residential units in Inver Grove Heights. The project will also offer exceptional views of the surrounding area and the Minneapolis skyline from its elevated position above Argenta Boulevard.

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Preliminary Site Development Plans for

Peltier Reserve 4th Addition Inver Grove Heights, Minnesota

Presented by:
Builders Lot Group, LLC

BENCHMARKS

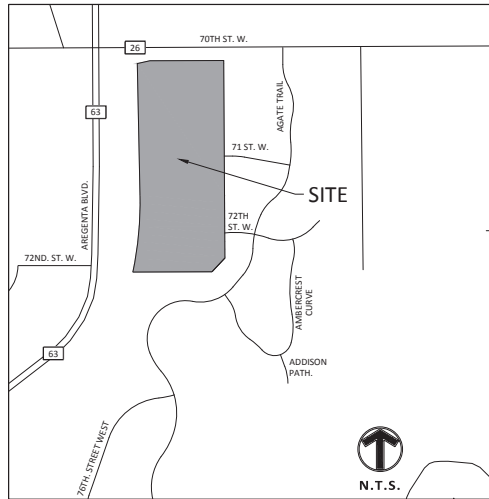
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BM NO. 2
IRON PIPE ELEV. = 956.25

SHEET INDEX

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GOVERNING SPECIFICATIONS

CITY OF INVER GROVE HEIGHTS SPECIFICATIONS (2023)
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2023)
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2025 EDITION)
MN PLUMBING CODE (2020)



VICINITY MAP
NO SCALE

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NO	DATE	BY	CHKD	APPR	COMMENT
01-08-2026	TK	JM	MA		PRELIMINARY PLAT AND PUD SUBMITTAL
01-29-2026	SIG	MA	MA		CITY RESUBMITTAL
02-12-2026	JB	MA	MA		CITY RESUBMITTAL FOR 01/30/26 REVIEW COMMENTS
03-15-2026	JHB	MA	MA		CITY RESUBMITTAL FOR 03/05/26 REVIEW COMMENTS
04-08-2026	JHB	MA	MA		CITY RESUBMITTAL FOR 03-27-26 REVIEW COMMENTS

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Print Name: _____
Date: _____ License #: _____

PRELIMINARY
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
TK
DESIGNED BY
JB
CHECKED BY
JM
PROJECT NO.
53793

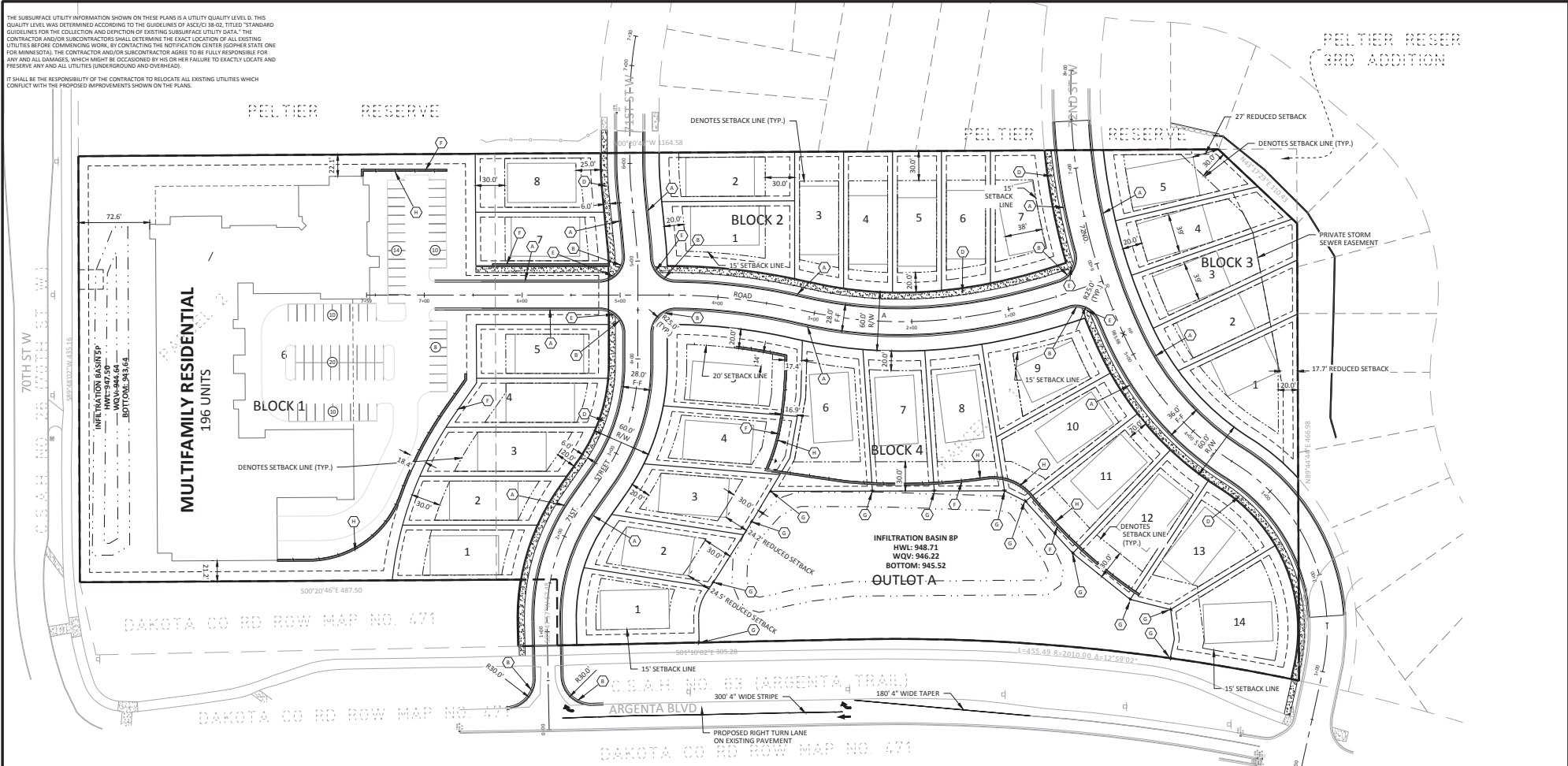


TITLE SHEET
BUILDERS LOT GROUP, LLC
PELTIER RESERVE 4TH ADDITION
PRELIMINARY
INVER GROVE HEIGHTS, MN

SHEET
C1.01
OF
REV. ----

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE SUBSURFACE UTILITY QUALITY LEVEL D, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GNPS) STATE ONE FOR MINNESOTA. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



PELTIER RESERVE
3RD ADDITION

MULTIFAMILY RESIDENTIAL
196 UNITS

DAKOTA CO RD ROW MAP NO. 471

DAKOTA CO RD ROW MAP NO. 471

DAKOTA CO RD ROW MAP NO. 471

LEGEND				KEY NOTES				DEVELOPMENT NOTES				DEVELOPMENT SUMMARY				RESIDENTIAL			
PROPOSED	EXISTING	BOUNDARY LINE	PROPOSED	EXISTING	SIGN	STANDARD DUTY ASPHALT PAVING		1. SEE PRELIMINARY PLAN FOR MORE DIMENSION INFORMATION				AREA	SETBACKS *		ZONING				
---	---	---	●	●	●	CONCRETE SIDEWALK		A. SURMOUNTABLE CONCRETE CURB AND GUTTER					GROSS SITE AREA	593,377 SF	13.62 AC	FRONT YARD	20 FT		
---	---	---	●	●	●			B. B-618 CONCRETE CURB AND GUTTER					LESS OUTLET A	58,960 SF	1.35 AC	REAR YARD	30 FT		
---	---	---	●	●	●			C. TRAFFIC BARRICADES					LESS R-O-W	82,560 SF	1.90 AC	SIDE YARD	5 FT		
---	---	---	●	●	●			D. 6.0' CONCRETE SIDEWALK					NET SITE AREA	451,857 SF	10.37 AC	*SEE SITE PLAN FOR LOCATIONS AND DIMENSIONS WHERE PUD FLEXIBILITY IS REQUESTED FROM STANDARD SETBACKS			
---	---	---	●	●	●			E. ADA ACCESSIBLE PEDESTRIAN CURB RAMP					LOT SUMMARY			EXISTING ZONING			
---	---	---	●	●	●			F. RETAINING WALL					NUMBER OF LOTS	33		PROPOSED ZONING			
---	---	---	●	●	●			G. OUTLOT MARKER POSTS					NUMBER OF OUTLOTS	1		A			
---	---	---	●	●	●			H. FENCE					NUMBER OF MULTIFAMILY UNITS	196		PUD			
---	---	---	●	●	●							IMPERVIOUS COVERAGE			PARKING (MULTIFAMILY)				
---	---	---	●	●	●							SINGLE FAMILY AREA AND ROADS	114,563 SF		COVERED				
---	---	---	●	●	●							SINGLE FAMILY IMPERVIOUS	30.2%		SURFACE				
---	---	---	●	●	●							MULTIFAMILY SITE IMPERVIOUS	89,298 SF		TOTAL PROVIDED				
---	---	---	●	●	●							MULTIFAMILY SITE IMPERVIOUS	62.3%		247 STALLS 0				
---	---	---	●	●	●							TOTAL PROVIDED			72 STALLS				
---	---	---	●	●	●										319 STALLS SCALE				
---	---	---	●	●	●										IN FEET				

NO	DATE	BY	CHKD	APPR	COMMENT
01-08-2026	TK	JM	MA	MA	PRELIMINARY PLAT AND PUD SUBMITTAL
01-29-2026	SIG	MA	MA	MA	CITY RESUBMITTAL
02-12-2026	JB	MA	MA	MA	CITY RESUBMITTAL FOR 01/30/26 REVIEW COMMENTS
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DESIGN REVIEW	DESIGNED BY	JB
PERMIT SUBMITTAL	CHECKED BY	JM
CONSTRUCTION DOCUMENTS	PROJECT NO.	53793

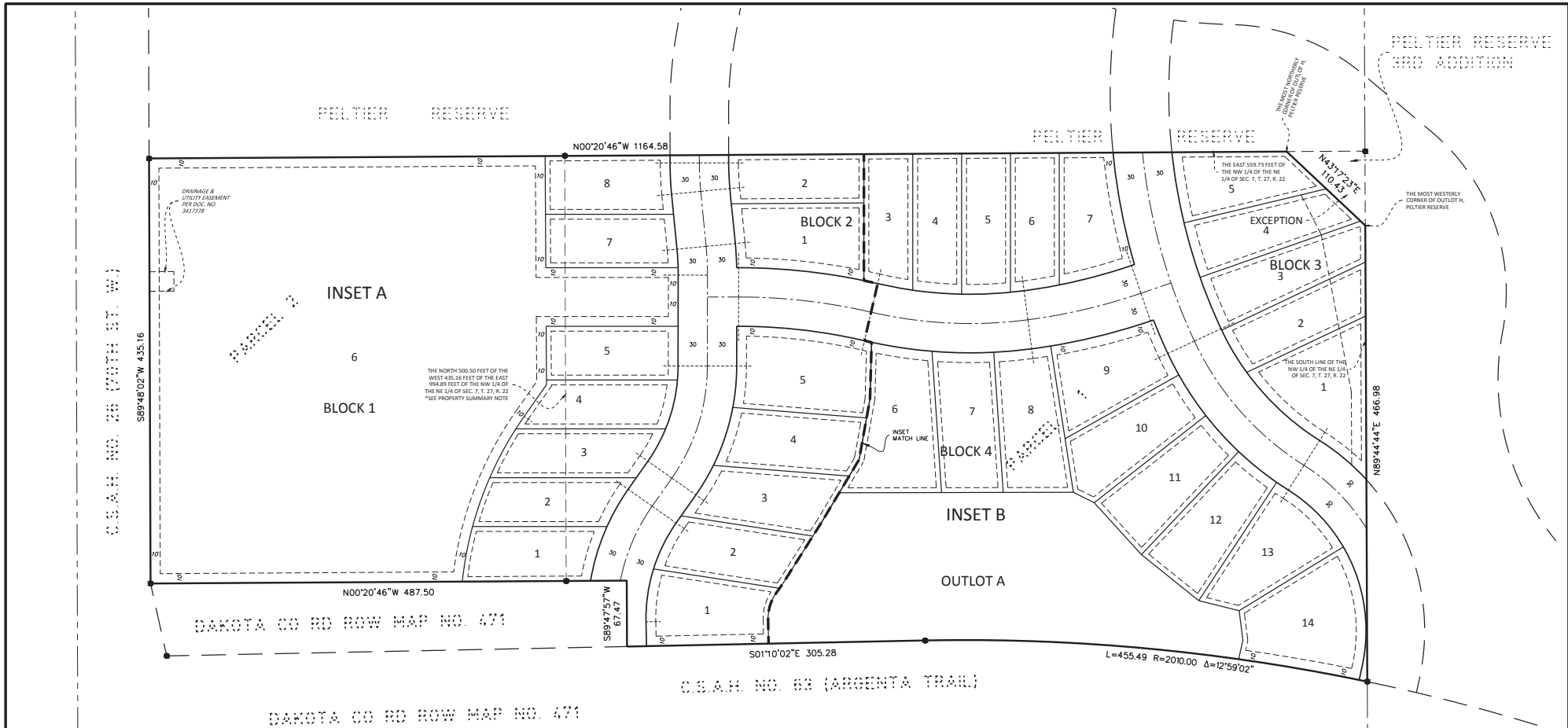
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Engineering | Surveying | Planning | Environmental

SITE PLAN	
BUILDERS LOT GROUP, LLC	
PELTIER RESERVE 4TH ADDITION	
PRELIMINARY	
INVER GROVE HEIGHTS, MN	

SHEET
C3.01
OF
REV. ----

24.15 (AMS TECH) | TORGE BARILAS | 4/7/2026 5:58:45 PM | L:\PROJECTS\53793\CAD\DWG\ASSETS\53793-C3.01 SITE.DWG(C3.01) SITE PLAN

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LEGEND

● FOUND MONUMENT	—○— WATERMAIN	--- EASEMENT LINE
○ SET MONUMENT MARKED	—●— SANITARY SEWER	--- SETBACK LINE
⊗ ELECTRIC METER	—○— FORCEMAIN (SAN.)	--- RESTRICTED ACCESS
⊗ LIGHT	—○— STORM SEWER	--- CONCRETE CURB
⊗ AIR CONDITIONER	—○— FLARED END SECTION	--- BUILDING LINE
⊗ GUY ANCHOR	—○— ELECTRIC TRANSFORMER	--- BUILDING CANOPY
⊗ HANDICAP STALL	—○— TELEPHONE PEDESTAL	--- BITUMINOUS SURFACE
⊗ UTILITY POLE	—○— GAS METER	--- CONCRETE SURFACE
● POST	—○— OVERHEAD WIRE	--- LANDSCAPE SURFACE
⊗ SIGN	—○— CHAIN LINK FENCE	
⊗ DECIDUOUS TREE	—○— IRON FENCE	
⊗ CONIFEROUS TREE	—○— WIRE FENCE	
	—○— WOOD FENCE	

DESCRIPTION

PARCEL #1:
THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 27 NORTH, RANGE 22 WEST, DAKOTA COUNTY, MINNESOTA, EXCEPTING THE FOLLOWING DESCRIBED PARCELS:

- THE EAST 559.73 FEET THEREOF;
- THE NORTH 500 FEET THEREOF;
- THAT PART THEREOF PLATTED AS PELTIER RESERVE 3RD ADDITION;
- ANY PORTION THEREOF CONTAINED WITHIN DAKOTA COUNTY ROAD RIGHT OF WAY MAP NO. 471;
- ANY PORTION THEREOF CONTAINED WITHIN DAKOTA COUNTY ROAD RIGHT OF WAY MAP NO. 435.

PARCEL #2:
THE WEST 435.16 FEET OF THE EAST 994.89 FEET OF THE NORTH 500 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 27, RANGE 22, DAKOTA COUNTY, MINNESOTA.

*NOTE: THERE IS A 0.5 FOOT OVERLAP BETWEEN THE DESCRIPTIONS OF PARCEL 1 AND 2

SITE SETBACKS

ZONE: PROPOSED ZONING: R-1C/PUD FOR THE SOUTHERN PART & R-3C/PUD FOR THE NORTH PART

FRONT YARD: 25
REAR YARD: 30
SIDE YARD: 5

PROPERTY SUMMARY

TOTAL SITE AREA: 593,377 S.F. (GROSS)
LESS OUTLOTS: 58,960 S.F.
LESS RIGHT-OF-WAY: 82,560 S.F.
451,857 S.F. (NET)

*SEE SHEETS C3.03 AND C3.04 FOR LOT AREAS

DEVELOPMENT NOTES

- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO 1 FOOT ABOVE THE HIGH WATER LEVEL OF ALL PONDS.

NO	DATE	BY	CHKD	APPR	COMMENT
01-08-2026	TK	JM	MA		PRELIMINARY PLAT AND PUD SUBMITTAL
01-29-2026	SIG	MA	MA		CITY RESUBMITTAL
02-12-2026	JB	MA	MA		CITY RESUBMITTAL FOR 01/30/26 REVIEW COMMENTS
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Date: _____ License #: _____

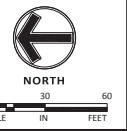
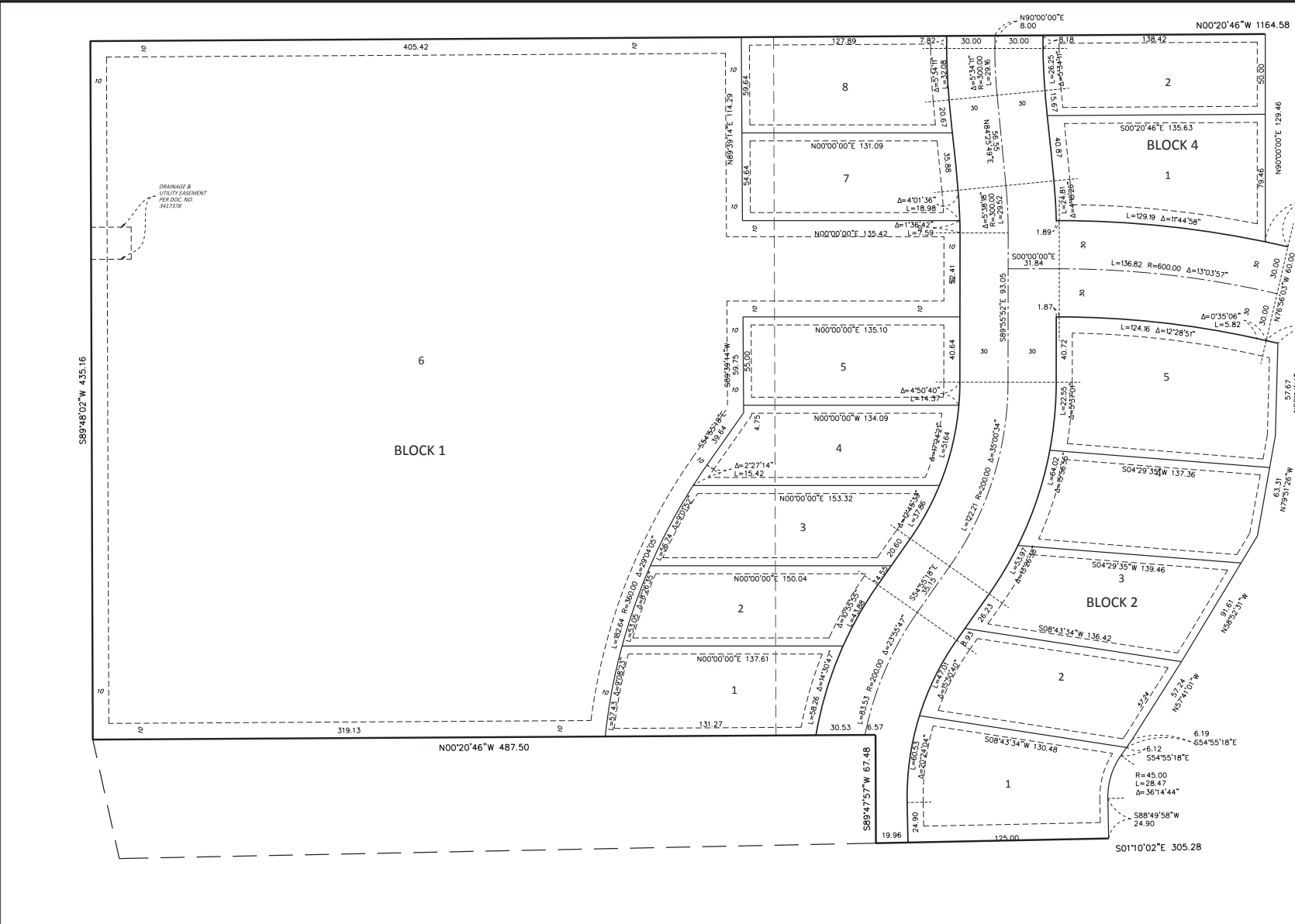
PRELIMINARY	DRAWN BY TK
DESIGN REVIEW	DESIGNED BY JB
PERMIT SUBMITTAL	CHECKED BY JM
CONSTRUCTION DOCUMENTS	PROJECT NO. 53793

PRELIM PLAT

BUILDERS LOT GROUP, LLC
PELTIER RESERVE 4TH ADDITION
PRELIMINARY
INVER GROVE HEIGHTS, MN

SHEET
C3.02
OF
REV. ---

24.15 (ANSI TECH) | JORGE BARILLAS | 4/7/2025 5:04:53 PM
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NO	DATE	BY	CHKD	APPR	COMMENT
1	8-8-2025	JRW			CONCEPT & LAYOUT

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Print Name: _____

Date: _____ License #: _____

DATE ISSUED: _____

DRAWN BY: _____

DESIGNED BY: _____

CHECKED BY: _____

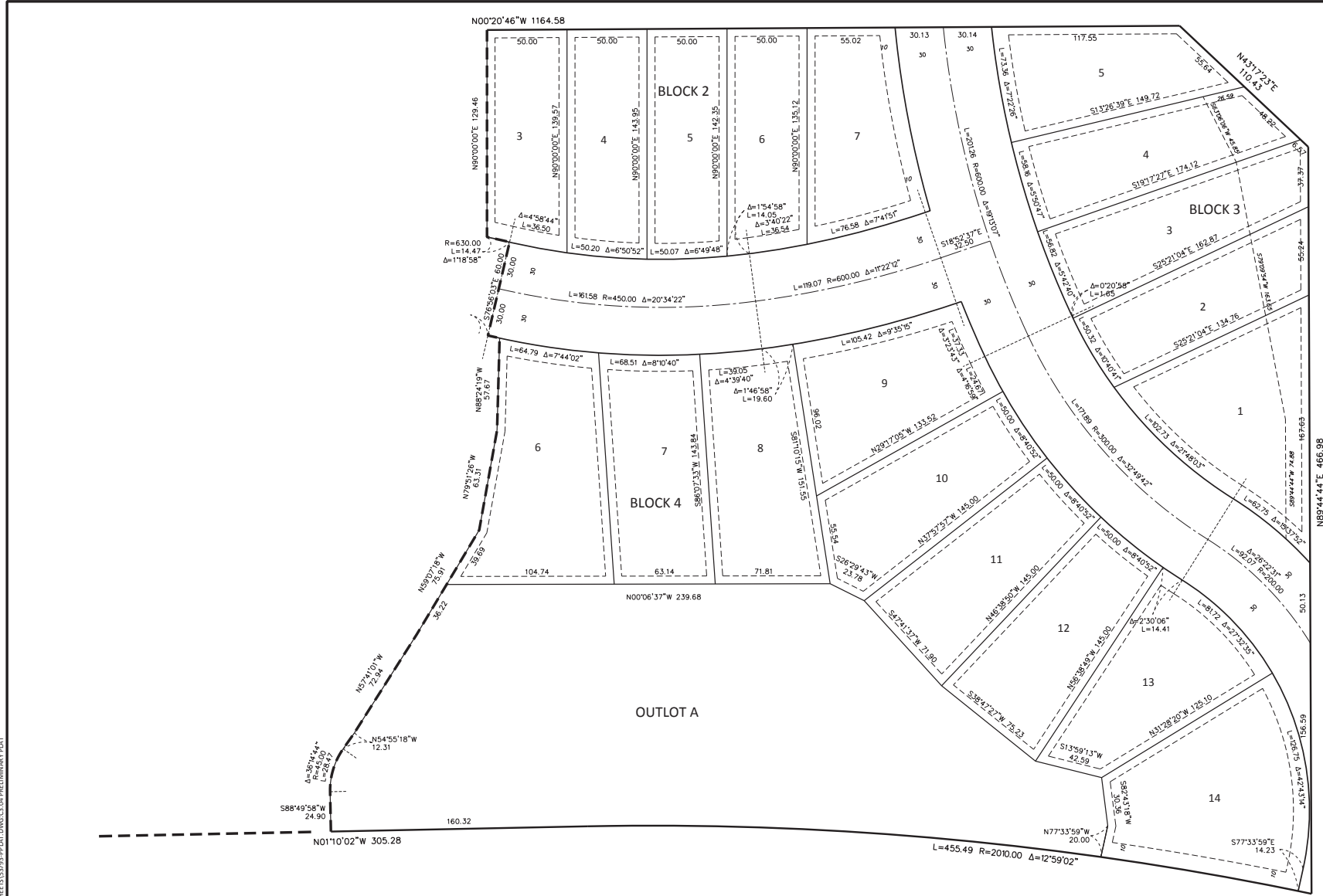
PROJECT NO. 53793



PRELIMINARY PLAT
 BLG
 GLENLIN ADDITION
 PRELIMINARY
 INVER GROVE HEIGHTS

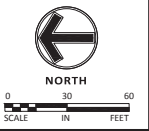
SHEET
C3.03
 OF
 REV. ---

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LOT SUMMARY

LOT 6, BLOCK 2:	11,171 SF
LOT 7, BLOCK 2:	9,054 SF
LOT 8, BLOCK 2:	9,558 SF
LOT 9, BLOCK 2:	9,099 SF
LOT 10, BLOCK 2:	8,980 SF
LOT 11, BLOCK 2:	8,777 SF
LOT 12, BLOCK 2:	9,009 SF
LOT 13, BLOCK 2:	9,061 SF
LOT 14, BLOCK 2:	11,969 SF
LOT 1, BLOCK 3:	10,643 SF
LOT 2, BLOCK 3:	7,484 SF
LOT 3, BLOCK 3:	8,454 SF
LOT 4, BLOCK 3:	8,102 SF
LOT 5, BLOCK 3:	7,791 SF
LOT 3, BLOCK 4:	6,743 SF
LOT 4, BLOCK 4:	7,113 SF
LOT 5, BLOCK 4:	7,182 SF
LOT 6, BLOCK 4:	6,957 SF
LOT 7, BLOCK 4:	8,217 SF



NO	DATE	BY	CHKD	APPR	COMMENT
	8-8-2025	JRW			CONCEPT & LAYOUT

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DATE ISSUED: _____
 DRAWN BY: _____
 DESIGNED BY: _____
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 PROJECT NO. 53793

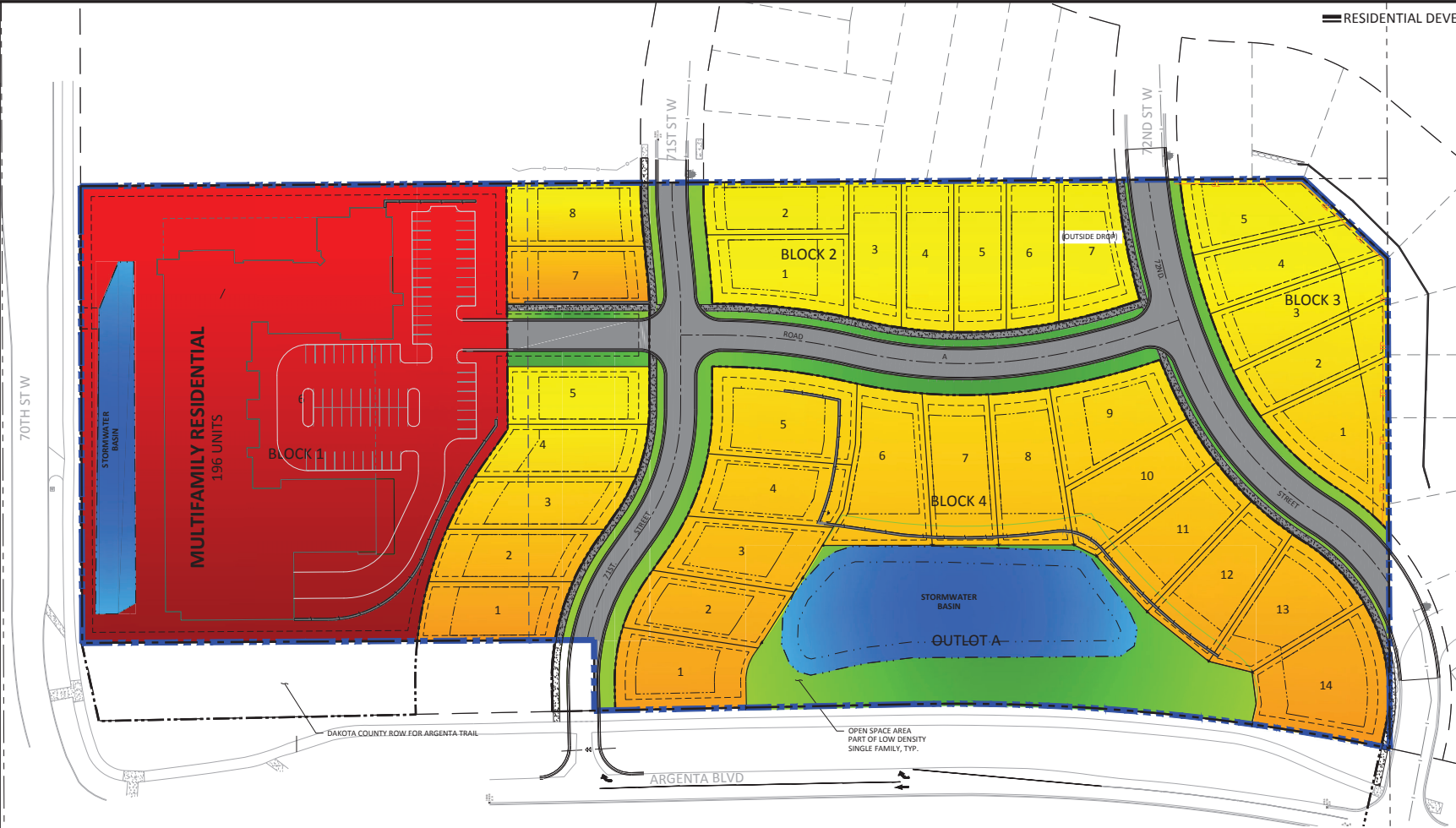


PRELIMINARY PLAT
 BLG
 GLENLIN ADDITION
 PRELIMINARY
 INVER GROVE HEIGHTS

SHEET
C3.04
 OF
 REV. ---

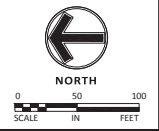
RESIDENTIAL DEVELOPMENT SUMMARY

COMP. PLAN DESIGNATION	LOW DENSITY SINGLE FAMILY	MIXED USE
AREA	9.81 AC	3.81 AC
MIN. LOT AREA	12,000 SF	12,000 SF
DENSITY RANGE (2040 LAND USE)	1-4 UNITS/AC	12+ UNITS/AC
UNITS	33	196
PROPOSED DENSITY	3.36 UNITS/AC	43.4 UNITS/AC
MINIMUM DENSITY (NW AREA OVERLAY)	2 UNITS/AC	12+ UNITS/AC



LEGEND

	PROPOSED	EXISTING
PROPERTY LIMIT	— — — — —	— — — — —
CURB & GUTTER	— — — — —	— — — — —
EASEMENT	— — — — —	— — — — —
BUILDING	— — — — —	— — — — —



24.15 (AMS TECH) | JORGE BARILAS | 4/7/2026 5:57:04 PM | PROJECT: 23/0793/CD/CD/PLANS/SHEETS/33793-CL/05 - DEVELOPMENT CAPACITY PLAN/DWG DEVELOPMENT CAPACITY PLAN

NO	DATE	BY	CHKD	APPR	COMMENT
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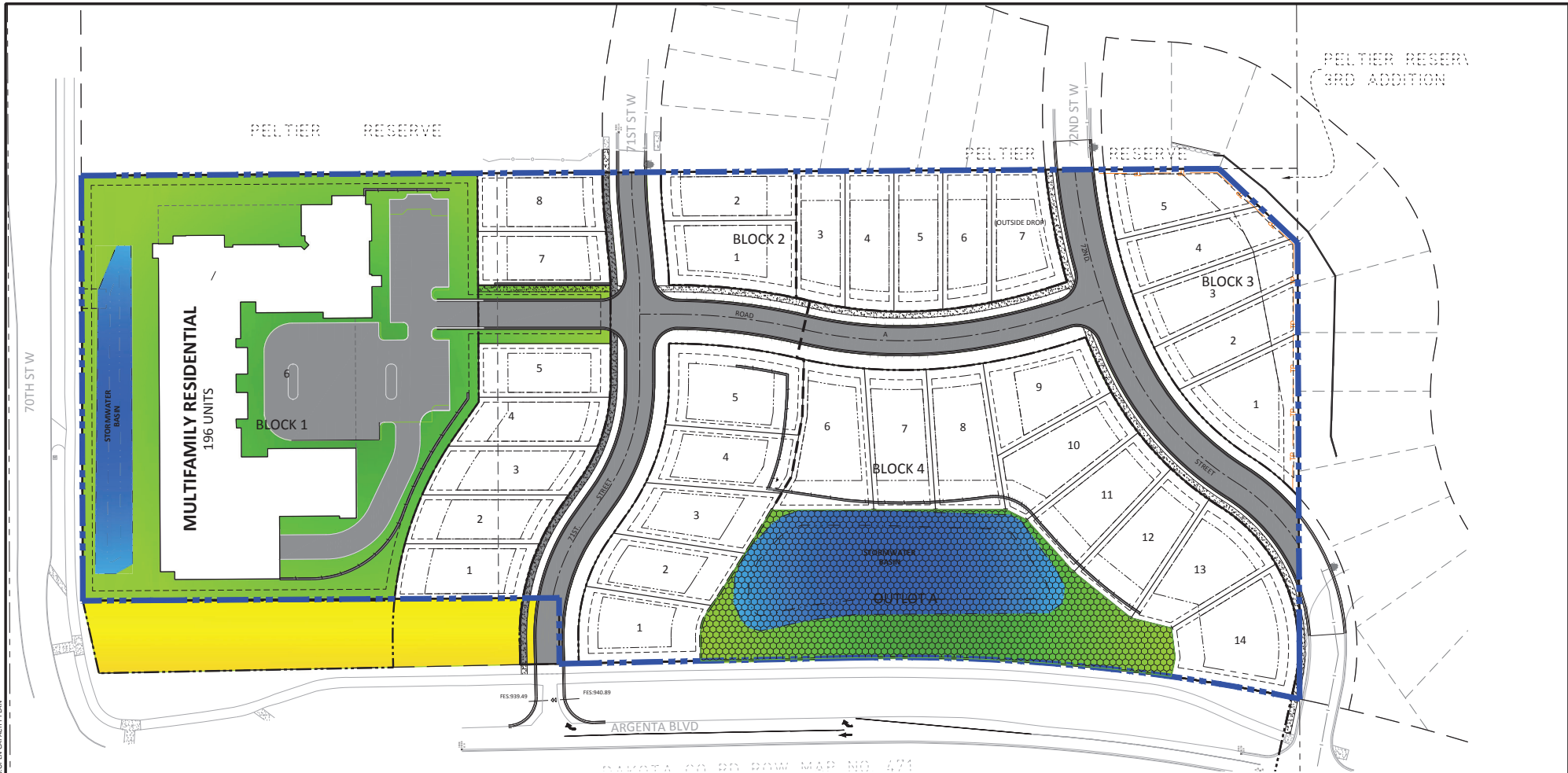
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PRELIMINARY	DRAWN BY TK
DESIGN REVIEW	DESIGNED BY JB
PERMIT SUBMITTAL	CHECKED BY JM
CONSTRUCTION DOCUMENTS	PROJECT NO. 53793

DEVELOPMENT CAPACITY PLAN
 BUILDERS LOT GROUP, LLC
 PELTIER RESERVE 4TH ADDITION
 PRELIMINARY
 INVER GROVE HEIGHTS, MN

SHEET
C3.05
 OF
 REV. ----



LEGEND		DEVELOPMENT SUMMARY	
PROPERTY LIMIT		OPEN SPACE	
CURB & GUTTER		CONTIGUOUS OPEN SPACE	
EASEMENT		PROPOSED STORMWATER	
BUILDING		DAKOTA COUNTY PROPERTY	
AREA	593,377 SF	13.62 AC	
GROSS SITE AREA	82,550 SF	1.89 AC	
LESS COUNTY ROAD IN ROW	510,817 SF	11.73 AC	
NET SITE AREA			
OPEN SPACE SUMMARY		REQUIRED	PROPOSED
OPEN SPACE (20% NET DEVELOPABLE WITHIN NWA)	102,165 SF	143,372 SF	
UNDISTURBED SPACE (50% OPEN SPACE)	51,082 SF	0 SF	
CONTIGUOUS OPEN SPACE (75% OPEN SPACE)	76,623 SF	59,002 SF	

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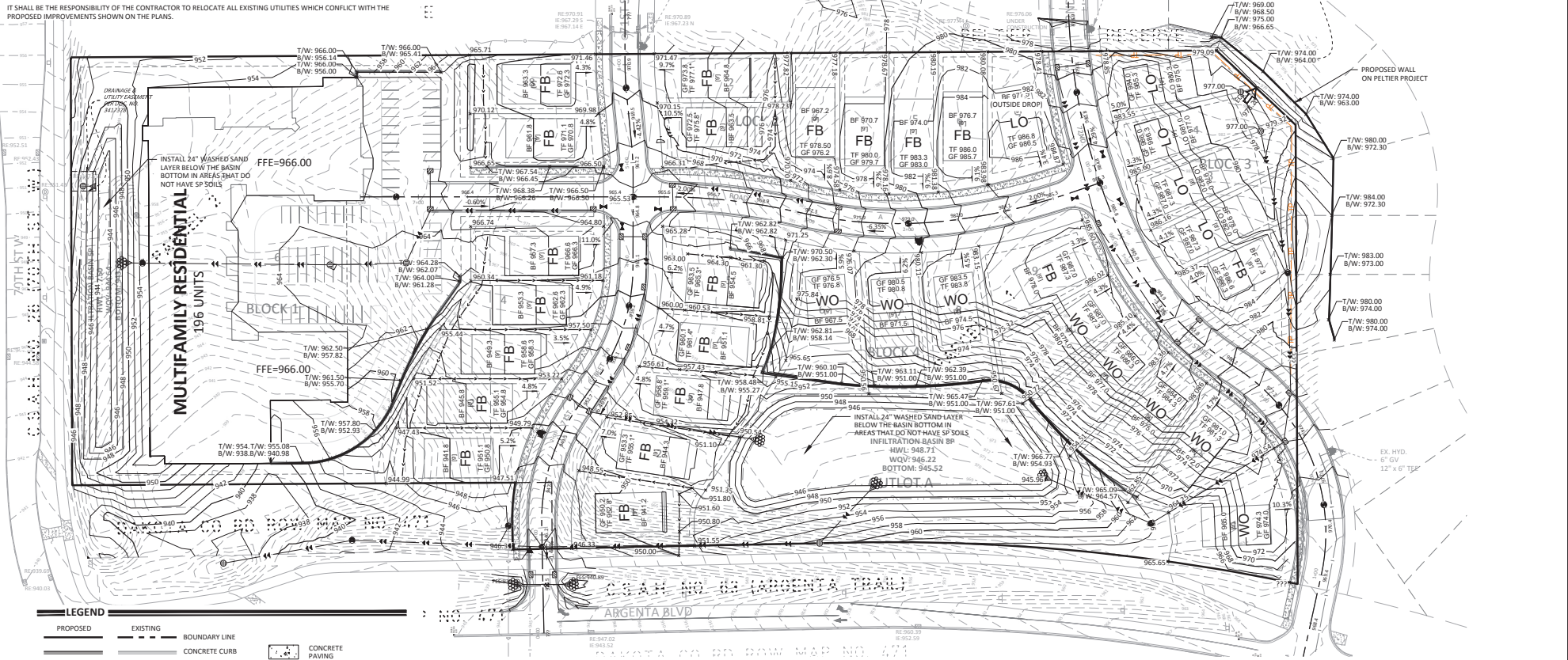
OPEN CAPACITY PLAN
 BUILDERS LOT GROUP, LLC
 PELTIER RESERVE 4TH ADDITION
 PRELIMINARY
 INVER GROVE HEIGHTS, MN

SHEET
C3.06
 OF
 REV. ----

24.15 (AMS TECH) | JORGE BARILLAS | 4/9/2026 5:41:03 PM | PROJECT: 53793 (D:\PROJECTS\53793\53793-06-OPEN CAPACITY PLANNING\OPEN CAPACITY PLAN)

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (SDPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

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LEGEND

		BOUNDARY LINE
		CONCRETE CURB
		STORM SEWER
		DRAINTILE
		BUILDING LINE
		RETAINING WALL
		CONTOUR
		SWALE
		WETLAND
		TREE LINE
		SPOT ELEVATIONS
		RIPRAP
		OVERFLOW ELEV.
		SOIL BORING
		SPOT ELEVATIONS

ARGENTA BLVD

ARGENTA TRAIL

LOT A

INSTALL 24" WASHED SAND LAYER BELOW THE BASIN BOTTOM IN AREAS THAT DO NOT HAVE SP SOILS

INFILTRATION BASIN BP

HWL: 948.71
WQV: 946.22
BOTTOM: 945.52

CONCRETE PAVING

CONCRETE SIDEWALK

PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)

NO	DATE	BY	CHKD	APPR	COMMENT
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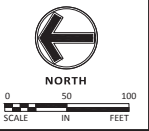
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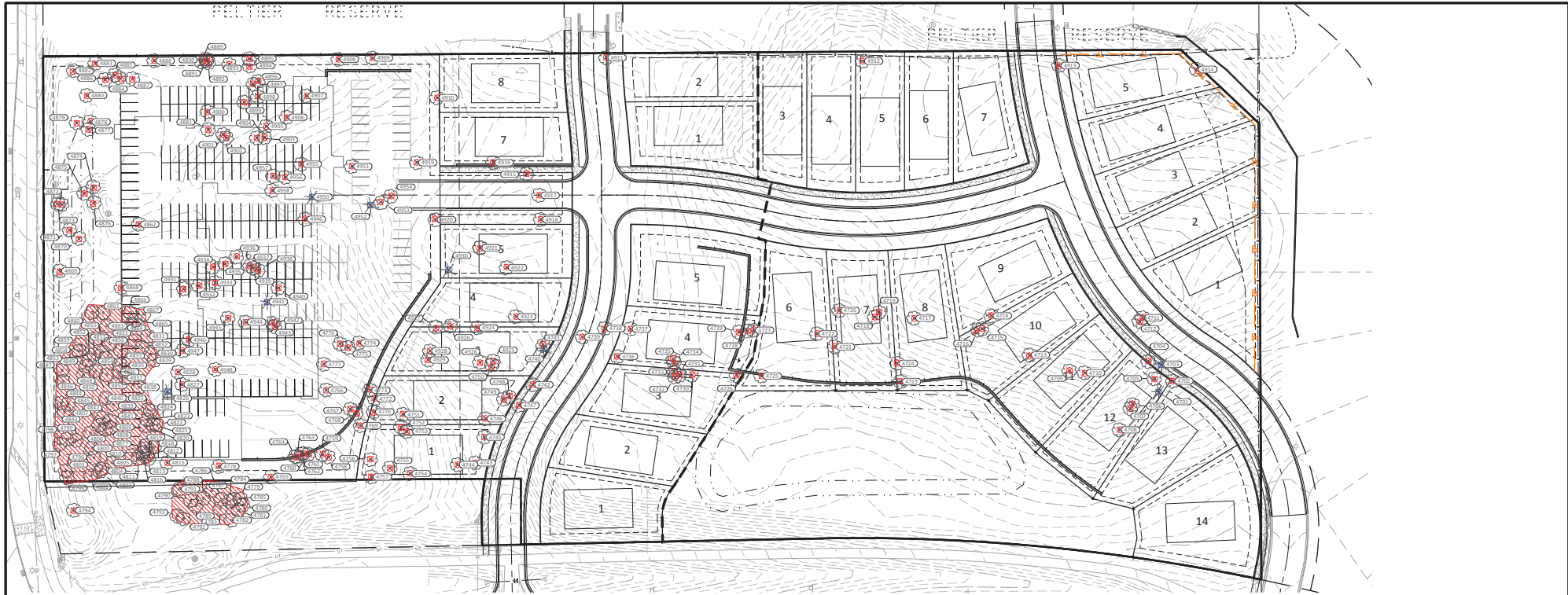
GRADING PLAN
BUILDERS LOT GROUP, LLC
PELTIER RESERVE 4TH ADDITION
PRELIMINARY
INVER GROVE HEIGHTS, MN

SHEET
C4.01
OF
REV. ----



24.15 (AMS TECH) | TORGE BARILLAS | 4/10/2026 3:40:36 PM | PROJECT: 53793, CAD: TALSHEETS\53793-C4.01-GRADING.CAD, GRADING PLAN

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LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING	
CURB & GUTTER	---	---	CONCRETE PAVING	
EASEMENT	---	---	CONCRETE SIDEWALK	
BUILDING	---	---		
RETAINING WALL	---	---		
WETLAND LIMITS	---	---		
TREELINE	---	---		
SIGN	---	---		
LIMITS OF DISTURBANCE	---	---		
EXISTING TREE (OFF SITE)	○	○		
PRESERVED TREE	○	○		
REMOVED TREE	○	○		
TREE (EXEMPT)	○	○		
(OWNER PLANTED)	○	○		
PRESERVED EVERGREEN	★	★		
REMOVED EVERGREEN	★	★		
PRESERVED DECIDUOUS	○	○		
REMOVED EVERGREEN	○	○		
TREE PROTECTION FENCE	— TP —			
REMOVED TREE AREA	▨			

TREE PRESERVATION SUMMARY

	LDR/MDR	MIXED USE/HDR	TOTALS
TOTAL INCHES AVAILABLE (SUBJECT TO REPLACEMENT*):		2,945"	2,945"
TREE REMOVAL ALLOWANCE:	30%	40%	
ALLOWED REMOVABLE INCHES:		1,178"	1,178"
PROPOSED TREE REMOVALS:			
1. TYPE "A" (50% REPLACEMENT)		1,117"	(559" REPLACEMENT)
2. TYPE "B" (100% REPLACEMENT)		1,894"	(1894" REPLACEMENT)
3. TYPE "C" (100% REPLACEMENT)		134"	(134" REPLACEMENT)
TOTAL INCHES REMOVED (REPLACEABLE):		2,945"	
CREDIT FOR HERITAGE TREES PRESERVED (2:1 INCHES):		0"	
REQUIRED REPLACEMENT FROM TYPE (A,B,C) TREES		2,387"	
ALLOWED REMOVABLE INCHES		1,178"	
TOTAL REPLACEMENT INCHES REQUIRED:		1,209"	(484 TREES AT 2.5" CALIPER)

24.15 (AMS TECH) | 3/16/2026 12:22:21 PM
 L:\PROJECTS\257979\CAD\DWG\ASSETS\3793.LD - TREE.DWG(10.0) TREE INVENTORY

NO	DATE	BY	CHKD	APPR	COMMENT
01-08-2026	TK	JM	MA	MA	PRELIMINARY PLAT AND PUD SUBMITTAL
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CONSTRUCTION DOCUMENTS	PROJECT NO. 53793

TREE INVENTORY
 BUILDERS LOT GROUP, LLC
 PELTIER RESERVE 4TH ADDITION
 PRELIMINARY
 INVER GROVE HEIGHTS, MN

SHEET
L0.01
 OF
 REV. ----

Apr 10, 2026 - 8:57am - User: jbarilla, L:\PROJECTS\53793\CAD\Civil\Sheets\53793-01 SITE.dwg

70TH ST W

C.S.A.H. NO. 28 (70TH ST W)

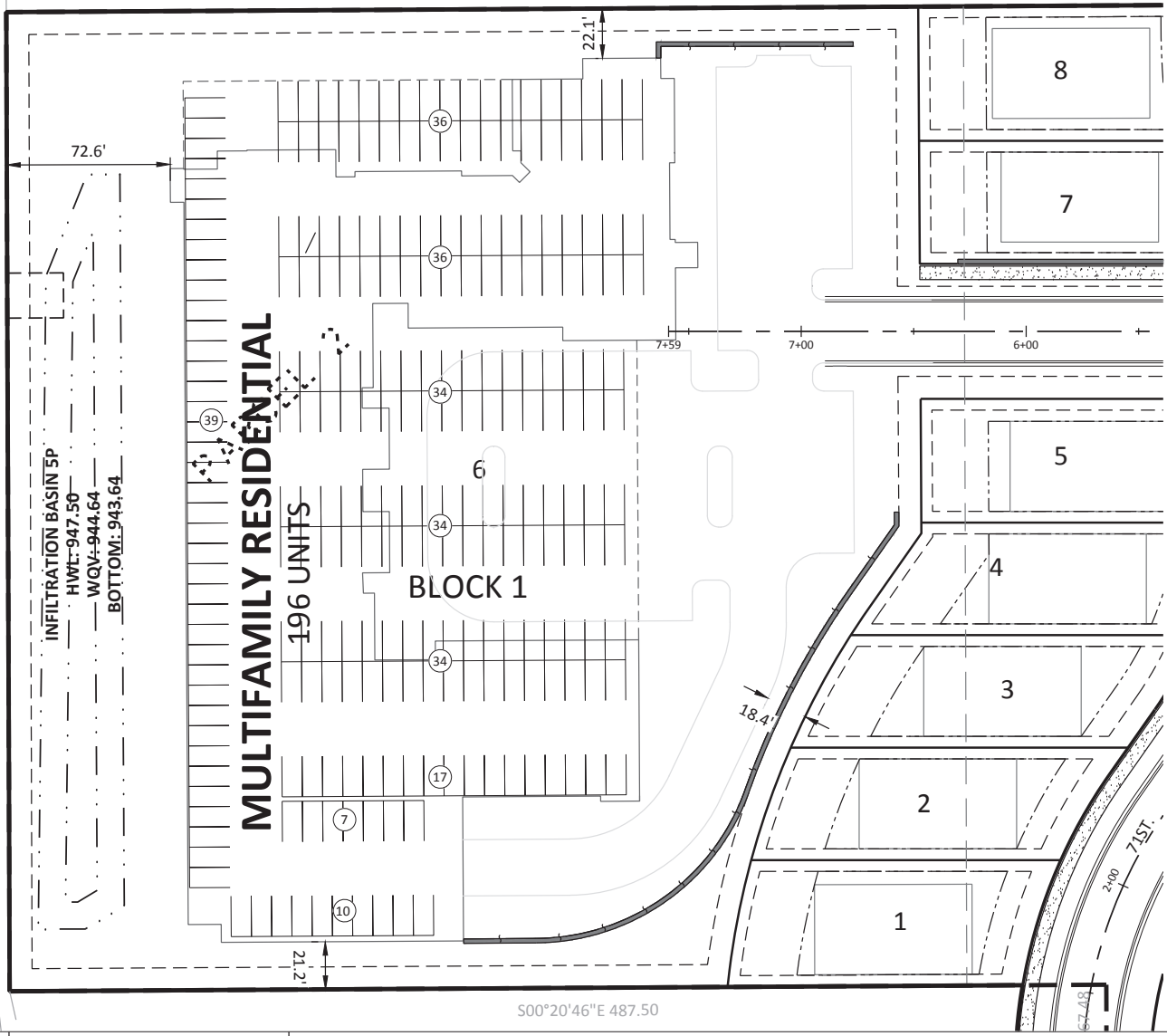
S89°48'02"W 435.16

INFILTRATION BASIN 5P
HWT: 947.50
WQV: 944.64
BOTTOM: 943.64

MULTIFAMILY RESIDENTIAL

196 UNITS

BLOCK 1

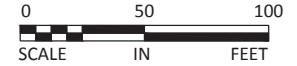


PARKING SUMMARY

PARKING (MULTIFAMILY)	247 STALLS
COVERED	72 STALLS
SURFACE	72 STALLS
TOTAL PROVIDED	319 STALLS



NORTH



DRAWN BY:	SIG
DESIGNED BY:	SIG
CHECKED BY:	MCA
ISSUED:	
REVISION:	
PROJECT NO:	53793

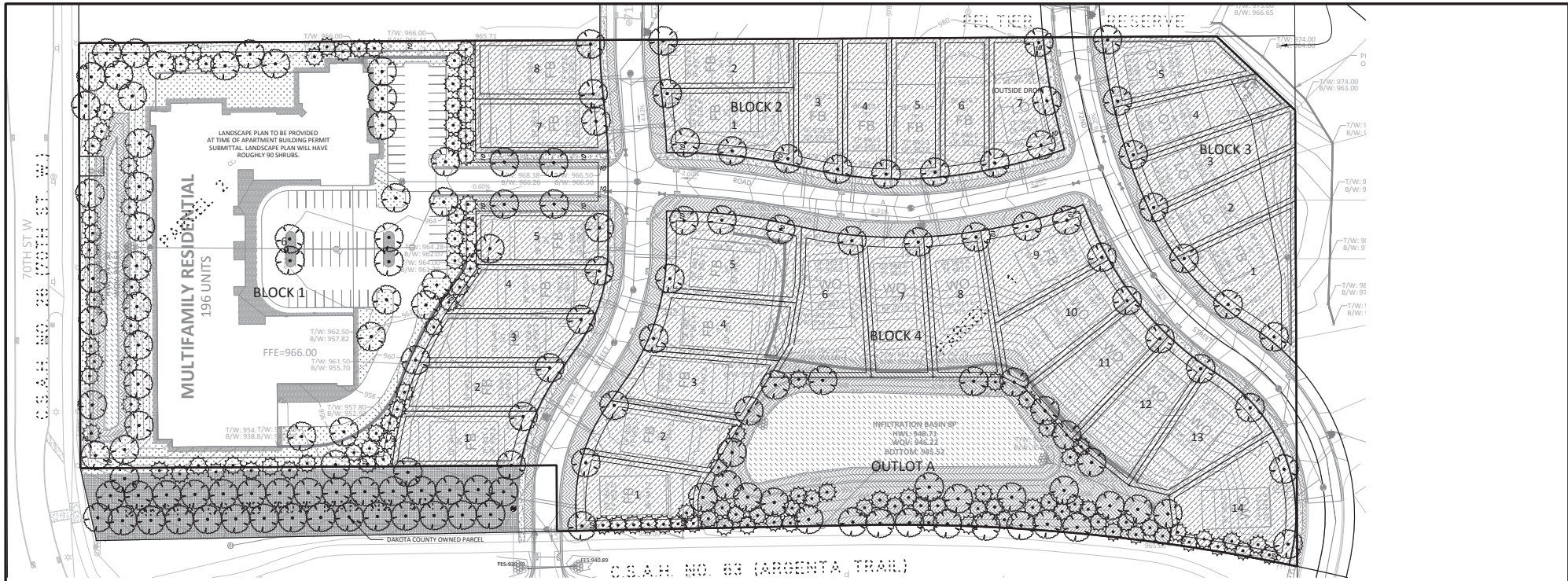


Engineering | Surveying | Planning | Environmental

MULTIFAMILY PARKING GARAGE EXHIBIT

BUILDERS LOT GROUP, LLC
GLENLIN ADDITION
INVER GROVE HEIGHTS, MN

SHEET
EXHB



LEGEND

PROPOSED EXISTING

PROPERTY LIMIT
CURB & GUTTER
EASEMENT

BUILDING

RETAINING WALL

WETLAND LIMITS

TREELINE

LANDSCAPE EDGING

STORM SEWER

SANITARY SEWER

FORCEMAIN (SAN.)

WATERMAIN

YARDRAIN

LIMITS OF DISTURBANCE

TREE PROTECTION FENCE

TREE TO BE REMOVED

SIGN

PIPE BOLLARD

R/RAP

SWM AREA

STANDARD DUTY ASPHALT PAVING

CONCRETE PAVING

CONCRETE SIDEWALK

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	CT	Coniferous Tree	B & B	6"	123
	OT	Overstory Tree	B & B	2.5" Cal	156

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT
	O	MNDOT Seed Mix Oats / Formerly MNDOT Seed Mix 21-111	Seed
	RT	MNDOT Seed Mix Residential Turfgrass / Formerly MNDOT Seed Mix 25-151	Seed
	SB	MNDOT Seed Mix Southern Boulevard / Formerly MNDOT seed mix 25-131	Seed
	WD	MNDOT Seed Mix Wet Ditch / Formerly MNDOT Seed Mix 33-261	Seed
	HM	Shredded Hardwood Mulch / Mulch	Mulch
	TUR HIG	Turf Sod Highland Sod / Sod	Sod

INVER GROVE HEIGHTS STREET TREES

SEC. 11-3-11 STREET TREES

(1) STREET TREES SHALL BE PLANTED NOT LESS THAN FORTY FEET (40') APART WITH MINIMUM OF ONE TREE PER LOT. THEY SHALL BE PLACED FIVE FEET (5') TO SEVEN FEET (7') INSIDE THE PROPERTY LINE AND NOT IN THE SIDE STRIP OR BOULEVARD. NO TREES SHALL BE PLANTED WITHIN THIRTY FEET (30') OF THE INTERSECTION OF CURB LINES ON CORNER LOTS. THE MINIMUM SIZE SHALL MEASURE ONE AND ONE-HALF INCHES (1.5") IN DIAMETER AT GROUND LINE. NO TWO (2) CONSECUTIVE TREES SHALL BE OF THE SAME TYPE OR VARIETY, AND ONLY THOSE APPROVED BY THE CITY ENGINEER WILL BE USED.

REQUIRED	PROPOSED
35	32

STREET TREES (ONE PER LOT):

TREE REPLACEMENT CALCULATIONS

REPLACEMENT INCHES FROM TREE REMOVALS (SEE SHEET L0.01)

REQUIRED	PROPOSED
1,209'	1,070'

REPLACEMENT INCHES FROM TREE REMOVALS (SEE SHEET L0.01)

52 TREES X 2.5" CAL
4 TREES X 2.5" CAL X 33 LOTS
88 TREES X 2.5" CAL

ADDITIONAL UTILITIES AND OUTLOTS (BUILDER RESPONSIBLE):
90 SHRUBS = 18 TREES X 2.5" CAL

MULTIFAMILY TREES:
104 TREES X 2.5" CAL
36 TREES X 2.5" CAL

TREES IN DAKOTA COUNTY TRAIL ROW (BUILDER RESPONSIBLE):
90'

TOTAL:	REQUIRED	PROPOSED
	1,209'	1,070'

NOTES
**6 SHRUBS, OR 2 ORNAMENTAL TREES = 1 TREE REPLACEMENT (UP TO 50% OF REQUIRED TREES)

PROPOSED HOMEBUILDER TREE LIST

DECIDUOUS TREES (2.5" CAL)	BRANDYWINE RED MAPLE
<i>Acer rubrum 'Brandywine'</i>	GREEN MOUNTAIN SUGAR MAPLE
<i>Acer saccharum 'Green Mountain'</i>	FALL PESTA SUGAR MAPLE
<i>Acer saccharum 'Balisto'</i>	WHITESPIRE BIRCH / ELDER
<i>Betula populifolia 'Whitespire'</i>	AUTUMN GOLD GINKGO
<i>Ginkgo biloba 'Autumn Gold'</i>	NORTHERN ACCLAIM HONEYLOCUST
<i>Gleditsia triacanthos var. 'Inermis 'Harve'</i>	KENTUCKY COFFEE TREE
<i>Gymnocladia dioica</i>	NORTHERN PIN OAK
<i>Quercus ellipsoidalis</i>	BUR OAK
<i>Quercus macrocarpa</i>	

CONIFEROUS TREES (6" MIN.)	WHITE FIR
<i>Abies concolor</i>	NORWAY SPRUCE
<i>Pinus resinosa</i>	EASTERN WHITE PINE
<i>Pinus strobus</i>	

ORNAMENTAL TREES (2" CAL)	AUTUMN BRILLANCE SERVICEBERRY
<i>Ameiacheris x grandiflora 'Autumn Brilliance'</i>	AUTUMN STAR MAGNOLIA
<i>Crataegus crus-galli 'Inermis'</i>	PROFUSSION CRABAPPLE
<i>Malus x moerlandii 'Profusion'</i>	RED SPLENDOR CRABAPPLE
<i>Malus 'Red Splendor'</i>	IVORY SILK LILAC
<i>Syringa reticulata 'Ivory Silk'</i>	

24.15 (AMS TECH) | JORGE BARRILAS | 4/9/2026 11:13:47 AM | PROJECT: 325729 | CAD: P:\A\SHETS\325729-11 - LANDSCAPING\DWG\LANDSCAPE PLAN

NO	DATE	BY	CHKD	APPR	COMMENT
01-08-2026	TK	JM	MA	MA	PRELIMINARY PLAT AND PUD SUBMITTAL
01-29-2026	SIG	MA	MA	MA	CITY RESUBMITTAL
02-12-2026	JB	MA	MA	MA	CITY RESUBMITTAL FOR 01/30/26 REVIEW COMMENTS
03-15-2026	JHB	MA	MA	MA	CITY RESUBMITTAL FOR 03/05/26 REVIEW COMMENTS
04-08-2026	JHB	MA	MA	MA	CITY RESUBMITTAL FOR 03-27-26 REVIEW COMMENTS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Print Name: _____

Date: _____ License #: _____

PRELIMINARY	DRAWN BY	 www.sambatek.com Engineering Surveying Planning Environmental
DESIGN REVIEW	DESIGNED BY	
PERMIT SUBMITTAL	CHECKED BY	
CONSTRUCTION DOCUMENTS	PROJECT NO. 53793	

LANDSCAPE PLAN	SHEET L1.01 OF REV. ----
BUILDERS LOT GROUP, LLC	
PELTIER RESERVE 4TH ADDITION	
PRELIMINARY INVER GROVE HEIGHTS, MN	

