



Inver Grove Heights Planning Commission
Tuesday, March 21, 2023 at 7:00 PM
8150 Barbara Avenue, Inver Grove Heights, MN 55077

AGENDA

NOTICE TO RESIDENTS: Individuals may submit written public comments in advance of the meeting by emailing comments to Stacy Bodsberg (sbodsberg@ighmn.gov). Comments received prior to 4:00 p.m. on Tuesday, March 21, 2023, will be provided to the Council at or before the March 21, 2023 meeting.

1. **Call to Order**
2. **Roll Call**
3. **Consent Agenda**
 - A. Approval of Minutes from the March 7, 2023, Regular Planning Commission Meeting.
4. **Applicant Requests and Public Hearings**
 - A. Consider a request by Michael Santema, 2421 105th Street East, for a Variance to exceed the maximum size of an accessory structure allowed on a residential property. (23-06V)
 - B. Consider the following requests by SMNPT 1, LLC, for property located at Blaine Avenue and Upper 55th Street, PID No. 20-14153-01-020 (23-09PUDA):
 1. Ordinance Amendment to the Southeast Quadrant Planned Unit Development Ordinance to allow a 2,350 square foot restaurant with a pick-up only drive through window;
 2. Preliminary and Final Planned Unit Development approval for the restaurant.
 - C. Consider a request by Paws Abilities Dog Training, 6475 Cahill Avenue, for a Zoning Code Amendment & Conditional Use Permit to allow for the operation of a dog training business. (23-07CZA)
5. **Other Business**
6. **Adjourn**

This document is available upon a three (3) business day request in alternate formats such as braille, large print, audio recording, etc. Please contact Rebecca Kiernan, City Clerk, at 651.450.2513 or rkiernan@ighmn.gov.

PLANNING COMMISSION MINUTES - CITY OF INVER GROVE HEIGHTS

Tuesday, March 7, 2023 – 7:00 p.m.
City Council Chambers – 8150 Barbara Avenue

1. CALL TO ORDER

Chair Niemioja called the Planning Commission Meeting to order at 7:00 p.m.
The Pledge of Allegiance was recited.

2. ROLL CALL

Commissioners Present: Elizabeth Niemioja (Chair)
Scott Clancy (Vice Chair)
Kate Challeen
Robert Heidenreich
Joan Robertson

Commissioners Absent: Dennis Wippermann (excused)
Jonathan Weber (excused)
Jaime Besser (unexcused)
Vacant

Staff Present: Allan Hunting, City Planner
Heather Botten, Associate Planner
Heather Rand, Community Development Director
Stacy Bodsberg, Community Development Support Specialist

3. APPROVAL OF MINUTES

A. Approval of Meeting Minutes from the February 21, 2023, Regular Planning Commission Meeting.

The meeting minutes from February 21, 2023 were approved as submitted.

4. APPLICANT REQUESTS AND PUBLIC HEARINGS

A. Consider a Request by S.M. Hentges & Sons Inc. for a determination of short-term mining of sand and gravel being used on the nearby Lone Oak/70th Street & Argenta Trail road project. (23-04M)

Presentation of Request

City Planner Allan Hunting discussed a request for a recommendation by the Planning Commission to the City Council regarding a clause in the ordinance allowing for a temporary short-term operation for sand removal for road construction. This is a county project with S.M. Hentges as the general contractor for the project located at 70th Street and Argenta Trail. The sand would be used for the base of the 70th Street road construction project. The project would begin May/June 2023 with completion by the end of September, 2023.

Sand removal normally falls under a sand and gravel overlay district which is intended for long term many year excavations.

Planning and Engineering agree this meets the criteria for the short-term operation clause and recommend the Planning Commission make the recommendation. If the City Council agrees, land removal would be through a land alteration permit issued through the engineering department.

Planning Commission Discussion

Commissioner Robertson asked if there was any residential around the area.
Mr. Hunting replied it is empty other than one home.

Commissioner Challeen asked if the house in the area was owned by the person letting the land be used for excavation.

Mr. Hunting replied in the affirmative.

Chair Niemioja mentioned there is no public hearing on this item. She invited comments and questions from anyone wishing to speak.

Joe Miller, S.M. Hentges and Sons, 650 Quaker Avenue, Jordan, Minnesota, 55352, introduced himself and stated the request is for short-term use to get sand out on the public road. They would restore everything once complete. He mentioned it was helpful to have this done in the area versus having to truck in the sand and gravel. It helps with import and export of the material and prevents numerous trucks from coming into the area.

Commissioner Robertson asked about safety around the area with digging and the disruption of soil. She questioned if the area was fenced during that time and if there would be a risk if someone was trespassing.

Mr. Miller replied that 70th Street would be closed for the 2023 road project from the Robert Street roundabout to Dodd Road. Local traffic would be allowed in some spots. The property being used is a hill, they are shaving the top off the hill; there are no big holes for risk of falling.

Commissioner Challeen asked what the implications were with the project in the event of a huge storm without fencing and landscaping being put up.

Mr. Miller responded by taking the hill down they would be creating less runoff/flow hitting the ground. The runoff would come onto the site with erosion measures in place. This lessens the burden.

Mr. Hunting mentioned that engineering requires a land alteration permit. There will be erosion control measures they would have to address as a part of the permit before storm events.

Commissioner Robertson said she was impressed that the sand and materials can be removed and used in the area.

Planning Commission Recommendation

Motion by Commissioner Robertson, second by Commissioner Heidenreich, to make a recommendation to the City Council to move forward with the project by S.M. Hentges & Sons Inc. for the determination of short-term mining of sand and gravel being used on the nearby Lone Oak/70th Street & Argenta Trail road project. (23-04M) as described.

Motion carried (5/0).

B. Consider a Request by Gary Lusso, 7142 River Road, for a Conditional Use Permit to exceed the maximum impervious surface allowed within the Shoreland District and a Variance from the setback requirements for a garage addition. (23-05CV)

Reading of Public Notice

Commissioner Clancy read the Public Hearing Notice to consider the request for Gary Lusso, 7142 River Road, Case No. 23-05CV CUP, for property located at 7142 River Road, identified as PID#

20-01100-30-090. The request consists of a Conditional Use Permit to exceed the maximum impervious surface allowed within the shoreland district and a variance from the setback requirements for a garage addition. Notices were mailed to 18 property owners on February 22, 2023.

Presentation of Request

Associate Planner Heather Botten discussed the request for property located at Upper 71st Street and River Road, zoned R-1C, single family residential district. The applicant proposes an 840 square foot garage and home addition added onto the south side of the existing home. The addition would be located within the required front setback and exceeds the maximum amount of impervious surface allowed on the property located within a shoreland district. The original home was constructed in 1958, prior to the adoption of city code or shoreland regulations. In 2014 the applicant received permission to have a second story added. The proposed addition and driveway added to go to the garage are estimated to be 1,300 square feet of hard surface. Adding this new hard surface would increase the total amount of impervious on the property to about 33%. The shoreland district has a maximum amount of 25%. That amount can be increased with the approval of a conditional use permit and a stormwater management plan. The shoreland and critical ordinance requirements are in place to minimize the impact to the river. The applicant has hired a company to help with the design of a stormwater management system. Staff will have to approve the stormwater management plan prior to this item going before the City Council. With the setback variance, one of the functions of setbacks is to maintain consistency of structure placement and the aesthetic qualities from the river, street, and neighboring views.

Staff does not believe the improvements to be out of character for the area and would be consistent with setbacks found on other neighboring properties. Staff believes a practical difficulty can be found based on age and location of the existing home and the other setbacks already establishing along River Road. She noted that the setback variance from the actual road is about 35 feet, plenty of room for parking. With the approval of the stormwater management plan, staff recommends approval of the variance and the conditional use permit with the conditions listed in Alternative A.

She mentioned that staff did hear from one resident who had concerns regarding the current aesthetics of the property and some clutter outside. It was the residents hope the addition would help clean up the property and bring those items inside of the garage.

Opening of Public Hearing

Gary Lusso, 7142 River Road, stated he has received the survey and gave a copy to the City Planner. He said he has hired Pioneer to do the stormwater evaluation. He understands the conditions that go along with the approval. He mentioned that the property next to him likely has 98% impervious. There has been a history in the area. He said he was confident that any water coming off the impervious surface would not drain into the river, it would meet DNR requirements.

Chair Niemioja asked if the DNR has reviewed this item.

Ms. Botten replied that the DNR has been sent some information but needed the additional information regarding the stormwater management.

Commissioner Robertson mentioned she drove past the property today and noted the question posed by the individual regarding the property as it stands. She asked the applicant how doing this project could impact the neighbor's concern.

Mr. Lusso replied he understands and has spoken to his neighbors. The items are the typical things you put in the side of the yard. He has two boats; one boat goes in the river in the summer, the other in the garage. The items noted are construction debris that would be cleaned up.

Commissioner Robertson asked if he had a driveway that would lead into the new addition.

Mr. Lusso responded there is an existing driveway going to the two-car garage. The new garage would have a driveway. He would like to remove the existing driveway to have less impervious surface.

Chair Niemioja closed the Public Hearing.

Planning Commission Discussion

Commissioner Robertson requested additional information about the impervious surface. She questioned if the same standard applies with general residential.

Ms. Botten replied there are still requirements outside of the shoreland area that they are allowed the maximum amount based on lot size. City code allows an additional 10% of lot size, which used to be a conditional use permit, but is now no longer required. Now applicants only need to work with the engineering department to determine a stormwater management plan. The shoreland ordinance is separate and takes precedent over regular requirements, at 25% maximum. If the applicant's property were not located in the shoreland district, based on lot size, the applicant could have up to 35% impervious surface. Due to the location in the shoreland district it is 25%. Anything above that requires a conditional use permit. There is no maximum amount.

Commissioner Robertson questioned if it was in compliance with the impervious surface expectation as it is currently described.

Ms. Botten responded in the affirmative.

Planning Commission Recommendation

Motion by Commissioner Robertson, second by Commissioner Clancy, to approve the request for a Conditional Use Permit to exceed the maximum impervious surface compliant with what is required for the Shoreland District and the variance for the setback requirements consistent with the neighborhood and using the practical difficulty as described by staff for property located at 7142 River Road. (23-05CV)

Motion carried (5/0). This item will go before the City Council on April 10, 2023.

5. **OTHER BUSINESS** None.

6. **COMMISSION AND STAFF COMMENTS** None.

7. ADJOURN

The Planning Commission Meeting was adjourned at 7:25 p.m.

Respectfully submitted,
Sheri Yourczek, Recording Secretary



Planning Commission Report

MEETING DATE:	March 21, 2023
CASE NO:	23-06V
APPLICANT:	Michael Santema
PROPERTY OWNER:	Same as Applicant
REQUEST:	Variance to exceed the maximum size of an accessory building on a residential property.
LOCATION:	2421 105th Street
COMPREHENSIVE PLAN:	RDR, Rural Density Residential
ZONING:	A, Agricultural
STAFF CONTACT:	Heather Botten, 651.450.2569

ACTION REQUESTED

The applicant is requesting the following:

- A Variance from City Code Sections 10-7-2.B and 10-15-18 to allow an accessory structure 4,050 square feet in size whereas 2,400 square feet in size is the maximum allowed.

BACKGROUND

The applicant's property is 5.13 acres in size. The lot consists of a single-family home with an attached two-car garage and a 160 square foot detached accessory structure (old milkhouse). There is a large wetland located in the middle of the applicant's property. This is not a DNR protected wetland, therefore the land that encompasses the wetland may be counted towards the total lot size and buildable area. The applicant's narrative reflects the lot size as if the wetland was protected. It was determined after the application was made that there is a drainage and utility easement over the wetland, but it is not a DNR wetland.

The applicant is requesting a Variance to construct a detached accessory structure 4,050 square feet in size. Rural residential property, greater than five acres in size, would be allowed a maximum of two detached accessory buildings up to 2,400 **gross** square feet total.

The applicant has stated that the proposed structure is needed to store his own personal items. The accessory building would be in compliance with other zoning code requirements such as setbacks and impervious surface standards.

EVALUATION OF REQUEST

The following Land Uses, Zoning Districts, and Comprehensive Plan designations surround the property:

- Single-family Residential; zoned A, Agricultural; guided RDR, Rural Density Residential.

Engineering: Engineering has reviewed the request and takes no exception to the Variance.

Variance Review

City Code Title 10, Chapter 3. Variances, states that the City Council may grant Variances when they are in harmony with the general purposes and intent of the Zoning Ordinance and consistent with the Comprehensive Plan and establishes that there are practical difficulties in complying with the official control. In order to grant the requested Variance, City Code identifies criteria which are to be considered practical difficulties. The applicant's request is reviewed below against those criteria.

1. The Variance request is in harmony with the general purpose and intent of the City Code and consistent with the Comprehensive Plan.

The City recognizes that within the large lot rural residential portions of the city, larger accessory structures can be appropriate. The regulations on gross square footage and total number of accessory buildings were designed to limit the massing of structures in the rural areas of the city. The City Council has reviewed and modified the allowed size and number of accessory structures over the years, most recently increasing the size allowance on lots from 3.4 acres – 5 acres in size. Staff does not believe the Variance to allow additional square footage to be consistent with, or in harmony with the Zoning Ordinance.

2. The property owner proposes to use the property in a reasonable manner not permitted by the Zoning Ordinance.

The proposed structure would be located about 60 feet from the closest property line to the west, complying with setback requirements. There is an attached garage to the house. Staff believes the proposed size of the accessory structure to be contrary to the intent of the Zoning Ordinance and may set a precedent for other large accessory buildings on lots greater than five acres.

3. The plight of the landowner is due to circumstances unique to the property not created by the landowner.

The property is 5.13 acres in size. Based on lot size and zoning, the property is allowed two detached accessory buildings up to 2,400 gross square feet in size. The request for an additional square footage may be considered a convenience to the applicant, not a practical difficulty.

4. The Variance will not alter the essential character of the locality.

The properties surrounding the applicants are generally five acres in size. Due to the size of the lots, existing vegetation, and location and size of neighboring structures, the proposed structure does not necessarily appear to alter the character of the neighborhood.

5. Economic considerations alone do not constitute an undue hardship.

Economic considerations do not appear to be a basis or a sole basis for the request.

ALTERNATIVES

A. Approval: If the Planning Commission finds the request to be acceptable, the Commission should recommend approval of the request(s) with at least the following conditions:

- Approval of a Variance to allow an accessory structure 4,050 square feet in size whereas 2,400 gross square feet is the maximum size allowed on the property subject to the following conditions:
 1. The site shall be developed in substantial conformance with the site plan on file with the Planning Department.
 2. The accessory structure shall not be used for commercial uses, storage related to a commercial use, or home occupations.
 3. A grading/erosion control plan shall be required at the time of the building permit application.

Practical difficulty: To Be Stated.

B. Denial: If the Planning Commission does not favor the proposed request(s), it should be recommended for denial, which could be based on the following rationale:

1. Denying the Variance request does not preclude the applicant from reasonable use of the property.
2. Approval of the Variance could set a precedent for other accessory building size Variances on large lot residential property.
3. The facts presented did not satisfy the criteria needed to show a practical difficulty on the lot to support granting a Variance. The lot size is over 5 acres in size, there is an attached garage and are allowed a maximum of two accessory structures up to 2,400 gross square feet total in size.

RECOMMENDATION

Based on the information in the preceding report and the reasons listed in Alternative B, staff does not believe there is sufficient rationale to support the Variance criteria and therefore recommends denial of the Variance request as proposed.

ATTACHMENTS

1. Zoning and Location Map
2. Narrative
3. Site Plan
4. Aerial Photo



2421 105th Street Case No. 23-06V



THIS DRAWING IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILED OF RECORDS, INFORMATION AND DATA LOCATED IN VARIOUS CITY, COUNTY AND STATE OFFICES AND OTHER SOURCES AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. THE CITY OF INVER GROVE HEIGHTS IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED

Map produced by the City of Inver Grove Heights GIS Dept.
Copyright© City of Inver Grove Heights 2020



Exhibit A Zoning and Location Map

Map not to scale

my Wife & I are Requesting a Variance on a Pole Barn we would like to put up. The Existing Allowance is 1,632sq ft, We are Seeking a Variance for a 4,050sqft Building, a Bldg large enough for our Hobbies & Antique Vehicles to fit in & Be out of the Weather year round, This building will Not be used for a Business or for Storage, it will be used as a working Hobby Shop, partial AG-Gardening, The Wife is a master Gardener, And propagates Plants & Seeds, for her garden Club to Sell & Use Themselves..

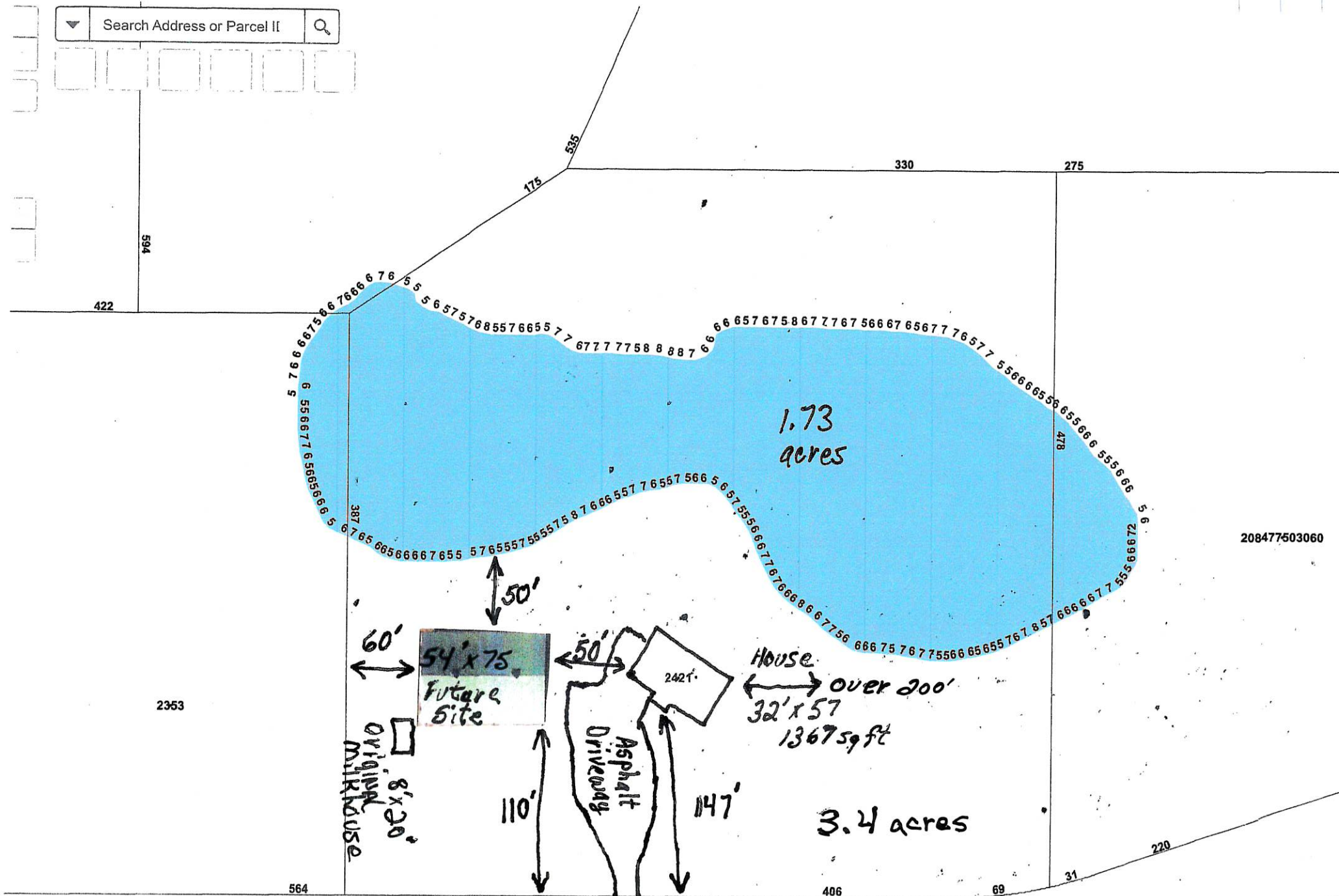
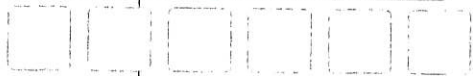
I have a small Collection of Antique Vehicles that require lots of maintenance to keep running AND deteriorate quickly when left Outside, And I also have a Woodworking hobby with many tools & Equipment... c

We have a Practical Difficulty with a Pond that Cuts across our property, 1.73 acres, Leaving 3.4 acres to build on... We feel that a 4,050sq ft Bldg with adequate Set-backs will fit in the Bldg site we have Chosen

The Variance will not be detrimental to the neighborhood

10/1/18

The neighbors already have Polesheds
as big or Bigger than what I want.
Its a Quality Bldg, MADE by a
Quality Company!





Future
Site



Planning Commission Report

MEETING DATE:	March 21, 2023
CASE NO:	23-09PUDA
APPLICANT:	SMNPT1, LLC
PROPERTY OWNER:	Key Community Bank
REQUEST:	Southeast Quadrant Planned Unit Development Ordinance Amendment, Preliminary/Final Planned Unit Development Approval
LOCATION:	West side Blaine Avenue, North of Upper 55th Street
COMPREHENSIVE PLAN:	RC, Regional Commercial
ZONING:	Commercial PUD
STAFF CONTACT:	Allan Hunting, 651.450.2554

ACTION REQUESTED

The applicant is requesting the following:

- Adoption of a Southeast Quadrant Planned Unit Development Ordinance Amendment to allow a 2,350 square foot restaurant with a pick-up only drive-through window.
- Preliminary and Final Planned Unit Development approval for the restaurant.

BACKGROUND

The applicant is requesting an Amendment to the Southeast Quadrant Planned Unit Development (PUD) Ordinance (a.k.a. Bishop Heights) and a Preliminary/Final Planned Unit Development approval to allow a 2,350 square foot restaurant with indoor and patio seating and a pick-up only drive-through window. The site is 37,030 square feet in size and currently contains one row of parking that is used by Key Community Bank. The remainder of the site is vacant.

Improvements to the site include relocating the bank parking lot onto its own lot, grading and constructing a restaurant. There will be retaining walls on the west and part of the north and south boundaries of the site.

The Bishop Heights PUD was set up as its own Ordinance with uses approved on individual parcels and listed within the Ordinance. The Ordinance Amendment includes adding this use to the parcel table and providing a traffic count for the site.

EVALUATION OF REQUEST

Surrounding Uses: The following land uses, zoning districts, and comprehensive plan designations surround the subject property:

North - Retail strip center; zoned PUD; guided RC, Regional Commercial.

East - Restaurant; zoned PUD; guided RC.

West - Bank; zoned PUD; guided RC.

South - Retail strip center; zoned PUD; guided RC.

ANALYSIS

The requested use for the lot is proposed to read as follows:

Parcel 26 Lot 2, Block 1, 2,350 square foot restaurant with a pick-up only drive-
Bishop Heights 4th Addition through window.

SITE PLAN REVIEW

Setbacks. Building and parking lot comply with the front and rear yard setbacks. There are no internal side yard setback standards.

Parking Lot/Access. The parking/access design has two access points connecting to an internal private driveway which serves the lots to the north and south. The northern access would allow both entering and exiting traffic. The parking lot is designed so parking going around the building is one way to match the flow of the pickup window. The window is for picking up online ordering only. There is no order board or ordering allowed at this window.

The plans indicated a total of fifty-five (55) seats for the site, including inside and on a patio on the north side of the building. Parking requirements per the City Code is one (1) parking space per two (2) seats, which would require twenty-eight (28) spaces. The plan provides for a total of thirty (30) spaces, including two (2) handicapped spots. The plans comply with parking standards.

The site design provides for at least seven (7) stacking spaces for the drive-up window, which should provide plenty of space.

During the site plan review, it was brought to our attention that the current traffic movement, particularly for cars heading north on Blaine Avenue and taking a left turn into the site is a bit confusing because there are no traffic controls on site, making it difficult for cars to know the right-of-way. Staff is recommending one (1) stop sign be placed south of the northern most new curb opening so internal traffic must stop, allowing cars on Blaine Avenue with the right-of-way to keep that traffic moving and off the road.

Lighting. The plans indicate five (5) light poles would be constructed on the site. Plans indicate a flat lens fixture which complies with code standards. Illumination intensity at the street also complies with code standards.

Signage. Signage on the property shall follow the Bishop Heights PUD and Section 10-15E of the City Code. A building permit is required for any new signs or changes to the existing signs.

Landscaping. A landscape plan has been submitted which consists of a mixture of overstory, coniferous and ornamental trees. Shrub plantings are also shown around the building. The number of plantings proposed is in conformance with the Zoning Ordinance.

Park Dedication. The Development Contract for the plat of Bishop Heights 4th Addition was recorded in March, 2002. In the contract, it states that Park Dedication has not been paid for this lot and is due at the time of building permit. The site is 0.85 acres in size, so a cash contribution amount of \$3,357 is due at the time of building permit.

Fire Marshal Review. All plans shall be subject to the review and approval of the City Fire Marshal for fire lane designation and the signage or marking of the fire lanes at the time of building.

Engineering. Engineering has submitted the plans to Barr Engineering to review the site with the overall storm water management system for the PUD. No known issues exist with the site or with the proposed plans. Prior to council review, the plans must be approved by the City Engineer.

Exterior Materials. Plans have been submitted showing the elevations of the building. The main surfaces would be a smooth stucco type material called EFIS which is a material acceptable in the Bishop Heights PUD. All sides of the building contain the same colors, materials and design which is consistent with code.

ALTERNATIVES

The Planning Commission has the following actions available for the proposed request:

A. Approval. If the Planning Commission finds the application acceptable, the Commission should make the following recommendations:

- Approval of an **Amendment** to the Southeast Quadrant PUD Ordinance to allow a 2,350 square foot restaurant with a pick-up only drive through window.
- Approval of a **Preliminary/Final PUD** plan for the restaurant subject to the following conditions:

1. The project shall be developed in substantial conformance with the following plans on file with the Planning Department except as may be modified by the conditions below:

Site Plan	dated 3/9/2023
Utility Plan	dated 3/9/2023
Grading and Drainage Plan	dated 3/9/2023
Erosion Control Plan	dated 3/9/2023
Landscape Plan	dated 3/9/2023
Photometric Plan	dated 3/9/2023

*** The final list of approved plans and date of plans shall be identified in the Development Contract.**

2. All plans are subject to the review and approval of the City Engineer, including comments from City consultants reviewing the plans prior to City Council action.

3. Prior to City Council action, the developer shall enter into a Development Contract and Storm Water Facilities Maintenance Agreement with the City. The Development Contract will address all other preliminary conditions of approval relating to other agreements required, Park Dedication, and other pertinent specific performance standards for this phase of the PUD.

4. A Park Dedication cash contribution amount of \$3,357 is due at time of building permit.
5. A stop sign be placed south of the new northern curb opening, so north-bound internal traffic must stop, allowing cars on Blaine Ave with the right-of-way to keep that traffic moving and off the road.

B. Denial. If the Planning Commission does not find the application to be acceptable, a recommendation of denial should be made. Specific findings supporting a basis for denial must be stated by the Commission if such a recommendation is made.

RECOMMENDATION

Based on the information in the preceding report and the conditions listed in Alternative A, staff is recommending approval of the Ordinance Amendment and Preliminary/Final PUD plan as presented.

ATTACHMENTS

1. Location Map
2. Narrative
3. Site Plans and Exterior Elevations



Location Map

Case No. 23-09PUDA



Allan Hunting, City Planner
City of Inver Grove Heights
8150 Barbara Ave.
Inver Grove Heights, MN 55077

PUD Amendment Application – February 20, 2023

Proposed Development

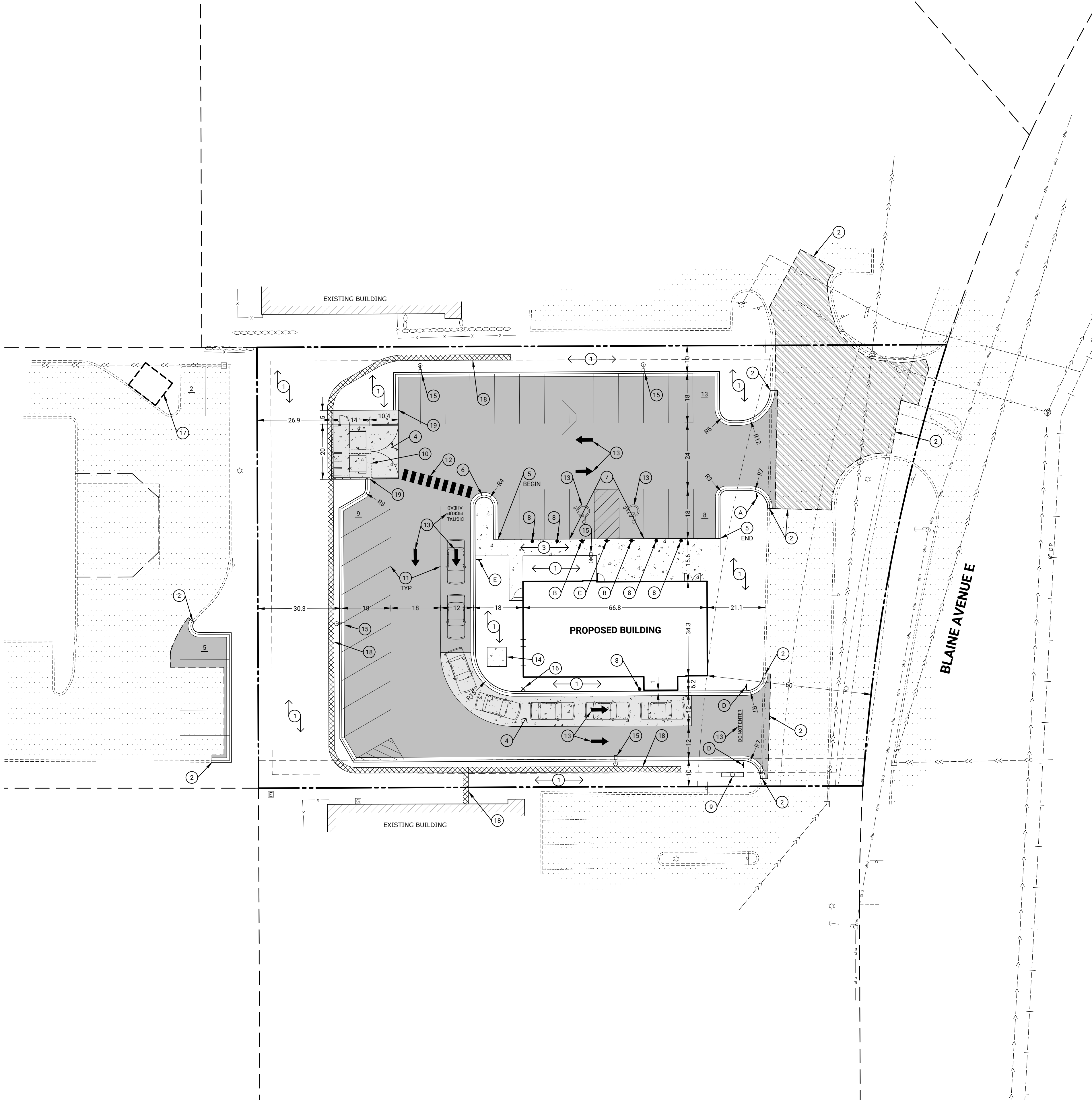
The existing property, legally described as Lot 2, Block 1, Bishop Height 4th Addition, consists of approximately one acre of land area and is part of the, contiguously developed area. This property is the last parcel that has not been developed in the quadrant.

The current proposal for this property is to develop the site to contain a single tenant building of approximately 2,350 s.f. to house a Chipotle Restaurant. The site plan will include 30 parking stalls on-site or a ratio of 12.75 stalls for every 1,000 s.f. of building area. Additionally, there will be a small area for seasonal patio seating. Also, we have created a stacking area allowing for 7 cars in the pick-up lane. This lane is a pick-up only lane. There is no menu/order board. All orders being picked up are done online.

Utility services are stubbed to the site area already and are part of the overall development site. Stormwater is also present for the existing impervious on the site and accommodations are made for address stormwater management on the new impervious areas.

The building design includes the use of materials to meet the City standards for this district. This includes EFIS with colors to differential the building, metal panel and glass. The trash area for the building will be remote and positioned to use the retaining wall as a rear wall and screening to the adjacent parcels. We will also place a privacy fence on the sides and a gate for control of access to the trash area. Signage will include building signs as shown and a proposed pylon/monument sign on the south side of the site.

03/02/23 c:\users\contour\appdata\local\temp\contour\c2\c2.sht - chipotle inner grow heights east22817.sht.dwg



SITE DATA	
LAND USE DESIGNATION:	REGIONAL COMMERCIAL
EXISTING ZONING:	COMMERCIAL PUD
PROPOSED ZONING:	COMMERCIAL PUD
PARCEL AREA:	37,031 SF
IMPERVIOUS AREA:	
BUILDING 1:	2,371 SF 6%
PAVEMENTS:	22,560 SF 61%
TOTAL:	24,931 SF 67%
PERVIOUS AREA:	12,100 SF 33%

PARKING SUMMARY	
REQUIRED STALLS	28
• 1 SPACE PER 2 SEATS	
• 35 INTERIOR SEATS + 20 PATIO SEATS	
STANDARD STALLS:	28
HANDICAP STALLS:	2
TOTAL STALLS:	30

SIGN SCHEDULE	
A. STOP SIGN:	R1-1 (24" X 24")
B. HANDICAP PARKING SIGN ON: 6' CONCRETE BOLLARD	R7-8m W/R7-8b (12" X 18")
C. NO PARKING SIGN ON: 6' CONCRETE BOLLARD	R8-3a (12" X 18")
D. DO NOT ENTER SIGN:	R5-1 (24" X 24")
E. DIGITAL ORDER PICKUP SIGN:	PER TENANT

- KEYNOTES**
- * SEE ARCHITECTURAL SITE PLANS FOR ADDITIONAL SITE PLAN NOTES.

1. LANDSCAPE AREA. SEE LANDSCAPE PLAN.

2. MATCH EXISTING CURB/SIDEWALK/PAVEMENT.

3. CONCRETE WALK/PATIO.

4. CONCRETE PAVEMENT/APRON.

5. INTEGRAL CONCRETE WALK/CURB.

6. PEDESTRIAN CURB RAMP.

7. FLUSH CURB, SEE GRADING PLAN.

8. 6" CONCRETE FILLED PIPE BOLLARD.

9. PYLON/MONUMENT SIGN, DESIGN TBD.

10. TRASH ENCLOSURE.

11. 4" SOLID WHITE LINE.

12. CROSS-WALK PAVEMENT MARKINGS, SOLID WHITE.

13. SOLID WHITE PAVEMENT MARKING.

14. TRANSFORM PAD, FINAL LOCATION TO BE CONFIRMED BY CONTRACTOR AND ELECTRIC PROVIDER.

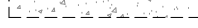
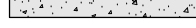
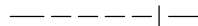
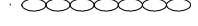
15. LIGHT POLE AND BASE.

16. CLEARANCE/HEIGHT RESTRICTION BAR PER TENANT.

17. RELOCATE EXISTING SHED TO LOCATION SHOWN.

18. RETAINING WALL.

19. 3 FT. TAPER OUT CURB.

LEGEND		
EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		REMOVE/REPLACE BITUMINOUS
		CONCRETE WALK/STOOP
		CONCRETE PAVEMENT
		CURB LINE
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		RETAINING WALL
		UNDERGROUND ELECTRIC
		UNDERGROUND GAS
		UNDERGROUND DATA
SEE SURVEY		STORM CATCH BASIN
SEE SURVEY		STORM MANHOLE
SEE SURVEY		STORM FLARED END SECTION
SEE SURVEY		HYDRANT
SEE SURVEY		GATE VALVE
SEE SURVEY		LIGHT POLE
SEE SURVEY		OTHER SYMBOLS

BENCHMARK	
MINNESOTA DEPARTMENT OF TRANSPORTATION	
GSID STATION #01802, NAMED 1985 Z	
ELEVATION: 847.66 (NAVD 88)	

- SITE PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.

2. ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.

3. TYPICAL PARKING STALLS ARE 9' X 18.

4. ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS.

5. UNLESS OTHERWISE SHOWN IN THE PLANS, CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS, AND DRIVES PER THE FOLLOWING REQUIREMENTS:

CONTROL JOINTS: WALKS @ 8' SPACING
OTHERS @ 10' SPACING

SAWCUT CONTROL JOINTS MINIMUM 1/4 CONCRETE THICKNESS.

EXPANSION JOINTS: WALKS @ 24' SPACING
OTHERS @ 40' SPACING

PROVIDE EXPANSION JOINT AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT.

DOWEL ALL EXPANSION JOINTS AT 24" SPACING MAX.

- SIGNAGE AND PAVEMENT MARKING NOTES**
1. ALL SIGNS SHALL BE PLACED 18" MINIMUM BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.

2. SIGNS SHALL INCLUDE HARDWARE, POST, FOOTING, CASING, AND ALL APPURTENANCES REQUIRED FOR TYPICAL INSTALLATION.

3. PARKING LOT STRIPING AND PAVEMENT MARKINGS SHALL BE 4" SOLID WHITE PAINT. ALL PAVEMENT LETTERING SHALL BE 12" HEIGHT.

4. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

CALL BEFORE YOU DIG

8195 VERNON STREET, ROCKFORD, MN 55973
TEL: 612.730.2265 | WWW.CONTOURCD.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME: JOSEPH T RADACH PE
SIGNATURE:
DATE: 02/21/23 LIC #: 45889

REVISIONS

ISSUE DATE: 02/21/23

BY: JTR

1. 03/02/23 SITE LAYOUT REVISIONS

2. 03/09/23 PER CITY COMMENTS

3.

4.

5.

6.

7.

OWNER

2C DEVELOPMENT, LLC
11985 Technology Drive, Suite 110
Eden Prairie, MN 55344

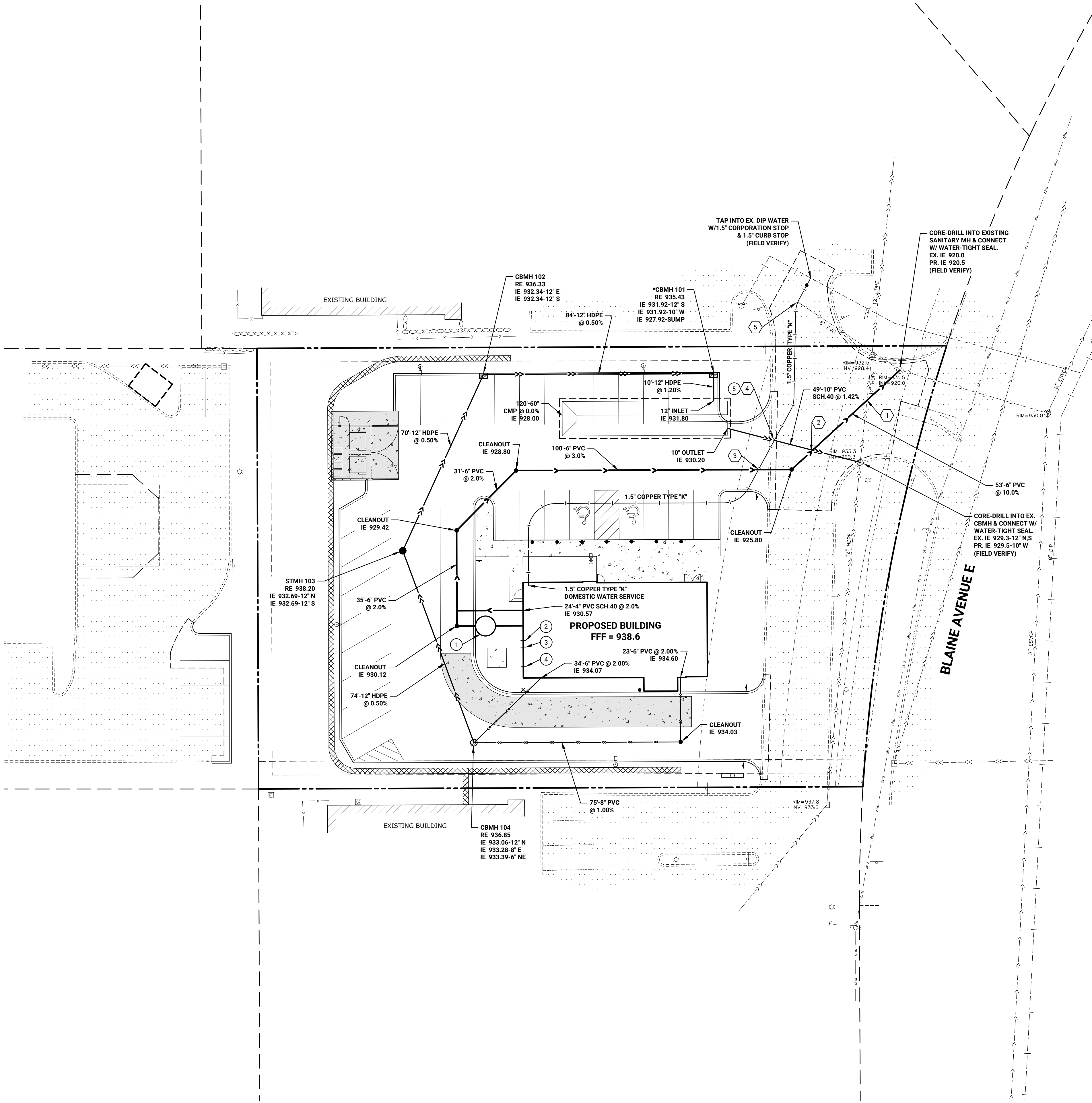
SITE PLAN

CHIPOTLE RESTAURANT
Blaine Avenue & Upper 56th Street E
Inver Grove Heights, Minnesota

SHEET NUMBER

C2.1

02/28/25 c:\users\contour\appdata\local\temp\contour\Labels\25001 - chipotle inner grow heights\cad\25001_Utility.dwg



STORM SEWER SCHEDULE

STRUCTURE NO.	SIZE	NEENAH CASTING OR EQUAL
CBMH *101	48" DIAMETER	R-3067-V
CBMH 102	48" DIAMETER	R-3067-VB
STMH 103	48" DIAMETER	R-1642
CBMH 104	48" DIAMETER	R-2573**

* INSTALL PRESERVER ENERGY DISSIPATOR (OR APPROVED EQUAL) ON INLET PIPE AND SKIMMER ON OUTLET PIPE

** TYPE C GRATE

UTILITY CROSSINGS

1.	TOP 6" SANITARY: BTM 12" STORM: SEPARATION:	922.6 928.7 6.1
2.	TOP 6" SANITARY: BTM 10" STORM: SEPARATION:	925.4 929.7 4.3
3.	TOP 6" SANITARY: BTM 1.5" WATER: SEPARATION:	926.7 928.8 2.1
4.	TOP 1.5" WATER: BTM 10" STORM: SEPARATION:	927.9 929.9 2.0
5.	TOP 8" SANITARY: BTM 1.5" WATER: SEPARATION:	+921.5 927.0 ±5.5

LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		CONCRETE WALK/STOOP
		CONCRETE PAVEMENT
		CURB LINE
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		RETAINING WALL
		UNDERGROUND ELECTRIC
		UNDERGROUND GAS
		UNDERGROUND DATA
		STORM CATCH BASIN
		STORM MANHOLE
		STORM FLARED END SECTION
		HYDRANT
		GATE VALVE
		LIGHT POLE
		OTHER SYMBOLS

BENCHMARK

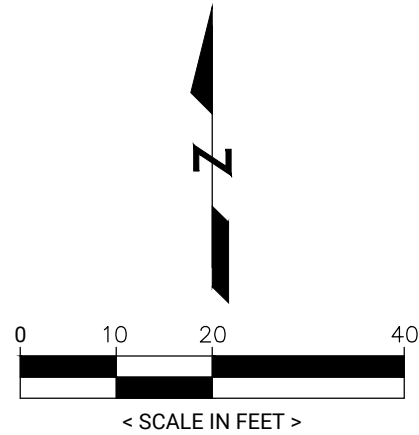
MINNESOTA DEPARTMENT OF TRANSPORTATION
GSD STATION #01802, NAMED 1985 Z
ELEVATION: 847.66 (NAVD 88)

UTILITY PLAN NOTES

- SANITARY SEWER, WATER MAIN, AND STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY'S STANDARD DETAIL SPECIFICATIONS, CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS, AND THE MINNESOTA PLUMBING CODE.
- A MINIMUM OF 7.5 FEET OF COVER SHALL BE REQUIRED FOR ALL WATER MAIN AND FORCEMAIN.
- FIRE HYDRANTS AND GATE VALVES SHALL BE IN ACCORDANCE WITH THE CITY'S REQUIREMENTS.
- A MINIMUM OF 2.0 FEET OF VERTICAL SEPARATION SHALL BE REQUIRED FOR ALL UTILITY CROSSINGS.
- ALL WATER MAIN WORK AND TESTING SHALL BE COORDINATED WITH THE CITY'S PUBLIC WORKS DEPARTMENT.
- ALL WATER MAIN MUST HAVE A CONDUCTIVITY TEST, HYDROSTATIC TEST, AND BACTERIA TEST BEFORE THE PROJECT IS COMPLETE AND TURNED ON.
- FINAL BUILDING UTILITY SERVICES AND DOWNSPOUT LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL AND PLUMBING PLANS.
- LOCATING WIRES SHALL BE INSTALLED ON ALL NON-CONDUCTIVE STORM SEWER, SANITARY SEWER, AND WATER LINES IN ACCORDANCE WITH THE MINNESOTA RURAL WATER ASSOCIATION (MRWA) TRACE WIRE SPECIFICATION GUIDE AND DETAILS.
- INSTALL METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- ALL WORK WITHIN THE ADJACENT STREET RIGHTS OF WAY MUST BE COORDINATED WITH AND APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT.

KEYNOTES

- GREASE TRAP PER TENANT REQUIREMENTS. ELEVATIONS OF GREASE TRAP AND PIPING TO BE CONFIRMED AT TIME OF CONSTRUCTION.
- ELECTRIC SERVICE AND METER LOCATION.
- GAS SERVICE AND METER LOCATION.
- TELEPHONE/DATA SERVICE LOCATION.
- LOWER WATER BELOW STORM SEWER TO PROVIDE 24" MINIMUM SEPARATION. INSULATE CROSSING.



CALL BEFORE YOU DIG

8195 VERNON STREET, ROCKFORD, MN 55973
TEL: 612.730.2265 | WWW.CONTOURCD.COM

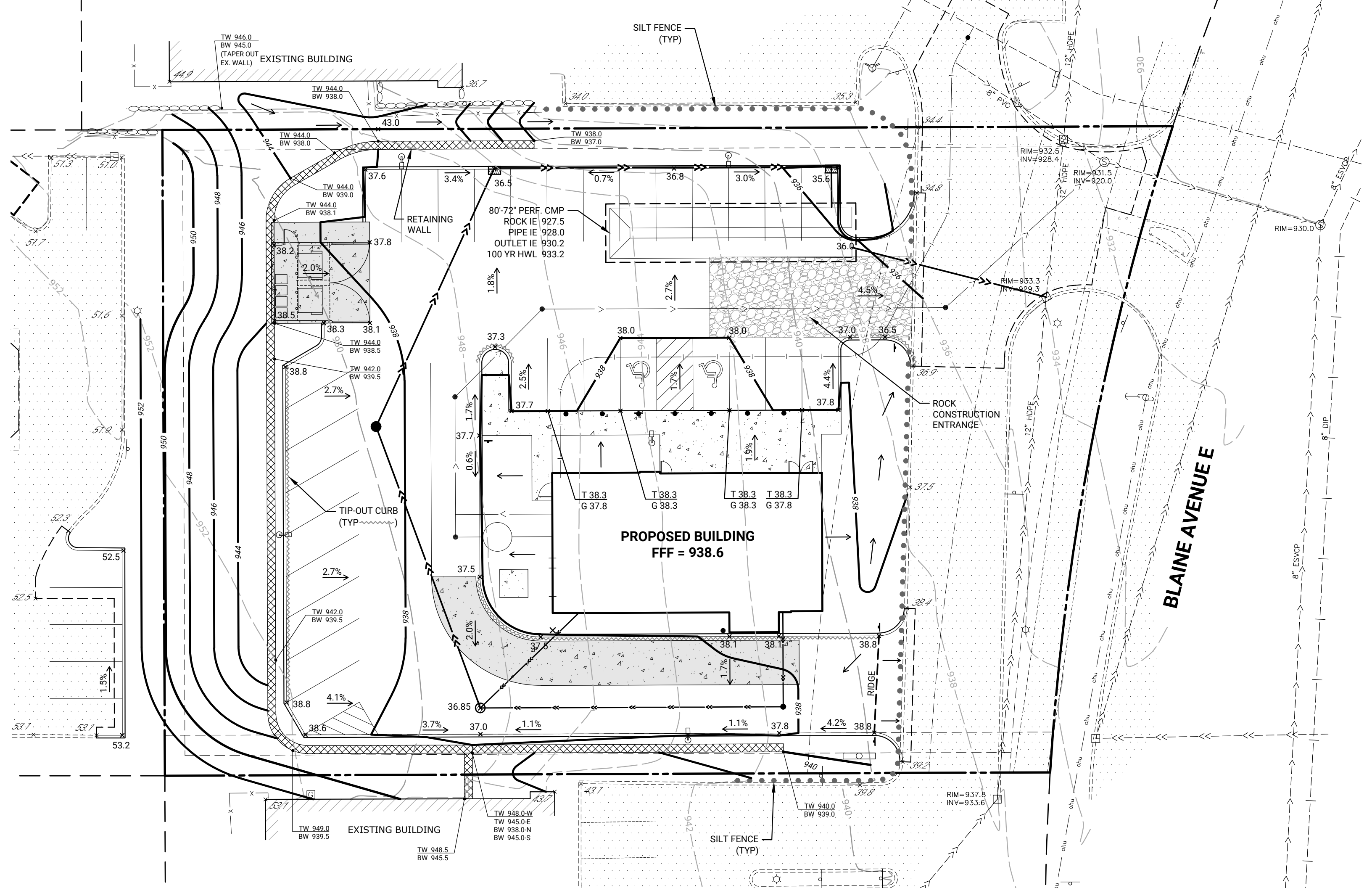
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
NAME: JOSEPH T RADACH PE
SIGNATURE:
DATE: 02/21/23 LIC #: 45889

REVISIONS
1. BY: JTR
2. 03/09/23 PER CITY COMMENTS
3.
4.
5.
6.
7.

OWNER
2C DEVELOPMENT, LLC
11985 Technology Drive, Suite 110
Eden Prairie, MN 55344

UTILITY PLAN
CHIPOTLE RESTAURANT
Blaine Avenue & Upper 56th Street E
Inver Grove Heights, Minnesota

SHEET NUMBER
C3.1



THE CONTRACTOR SHALL:
VISIT SITE PRIOR TO SUBMITTING BID TO INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE SCOPE OF WORK.

VERIFY THE LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES THAT WOULD COMPROMISE THE DESIGN OR INTENT OF THE PROJECT LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

PROTECT ALL EXISTING FEATURES FROM DAMAGE DURING PLANTING OPERATIONS. ANY DAMAGE SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.

CALL GOPHER-ONE TO VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS.

ESTABLISH TO THEIR SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

UTILITIES, BACKGROUND INFORMATION, AND LAYOUT:
ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN. ADEQUATELY COMPACT ANY EXCAVATED AREAS TO AVOID FUTURE SETTLEMENT.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES THAT WOULD COMPROMISE THE DESIGN INTENT PRIOR TO BEGINNING CONSTRUCTION.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

LANDSCAPE INSTALLATION AND PHASING:
COORDINATE THE LANDSCAPING AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTINGS SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE PLANTING AREAS.

PLANT MATERIALS:
ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE NURSERY STOCK STANDARDS AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).

PLANTS SHALL NOT BE STOCKPILED ON SITE ANY LONGER THAN NECESSARY AND SHALL HAVE ADEQUATE WATERING AT ALL TIMES PRIOR TO PLANTING. PLANTS THAT SHOW OBVIOUS SIGNS OF DISTRESS FROM HEAT, OR LACK OF WATER, SHALL NOT BE INSTALLED. ROOT BALLS FOR ALL TREES SHALL BE COVERED WITH MULCH WHILE AWAITING PLANTING.

UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED SHRUB HEIGHT. ORNAMENTAL TREES SHALL HAVE NO Y CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE THE ROOT FLARE. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE THE ROOT FLARE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL HAVE A FULL, NATURAL FORM CONSISTENT WITH THE SPECIES.

THE LANDSCAPE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF ANY DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. LANDSCAPE ARCHITECT MUST APPROVE ALL STAKING PRIOR TO ANY DIGGING.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS ARE OCCASIONALLY NEEDED IN THE FIELD. SHOULD AN ADJUSTMENT BE REQUIRED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED IN ADVANCE TO DISCUSS AN ACCEPTABLE MODIFICATION.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL, OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 0-20-20 OF 12 OZ PER 2.5" CALIPER PER TREE AND 6 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-10-10 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 8" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEACOMPOST AND 10 PARTS SAND.

ALL PLANTS SHALL BE INSTALLED PER THE PLANTING DETAILS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THEIR PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

EDGING AND MAINTENANCE STRIPS:
BLACK POWDER COATED STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

PLANTING NOTES:

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS SHRUBS						
ANH	5	ANNABELLE HYDRANGEA	Hydrangea arborescens 'Annabelle'	24" HGT	POT	4' O.C.
AWS	5	ANTHONY WATERER SPIREA	Spiraea x bumalda 'Anthony Waterer'	24" HGT	POT	4' O.C.
DBH	9	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	24" HGT	POT	4' O.C.
MKL	-	MISS KIM LILAC	Syringa patula 'Miss Kim'	24" HGT	POT	5' O.C.
RTD	6	RED TWIGGED DOGWOOD	Cornus sericea 'Balladeline'	24" HGT	POT	4' O.C.

CONIFEROUS SHRUBS						
ARJ	3	ARCADIA JUNIPER	Juniperus sabina 'Arcadia'	3 GAL	POT	5' O.C.
DFJ	3	DAUB'S FROSTED JUNIPER	Juniperus chinensis 'Daub's Frosted'	3 GAL	POT	5' O.C.
TYE	5	TAUNTON YEW	Taunton x media 'Taunton'	3 GAL	POT	5' O.C.

PERENNIALS AND GRASSES						
AJS	-	AUTUMN JOY SEDUM	Sedum x 'Autumn Joy'	1 GAL	POT	24" O.C.
BES	-	BLACK EYED SUSAN	Rudbeckia goldsturm	1 GAL	POT	24" O.C.
HAM	-	HOSTA - VARIEGATED	Hosta x 'Alba Marginata'	1 GAL	POT	24" O.C.
HGS	7	HOSTA - GOLD STANDARD	Hosta x 'Gold Standard'	1 GAL	POT	24" O.C.
HSP	7	HOSTA - SUN POWER	Hosta x 'Sun Power'	1 GAL	POT	30" O.C.
KFG	24	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	2 GAL	POT	24" O.C.
PUC	2	PURPLE CONEFLOWER	Echinacea purpurea	1 GAL	POT	24" O.C.
STD	13	STELLA d' ORO DAYLILY	Hemerocallis x 'Stella d' Oro'	1 GAL	POT	18" O.C.
WLC	3	WALKER'S LOW CATMINT	Nepeta faassenii 'Walker's Low'	1 GAL	POT	30" O.C.

PLANTING SCHEDULE (THIS PAGE ONLY):

MAINTENANCE STRIPS SHALL HAVE EDGER AND MULCH AS SPECIFIED OR AS INDICATED ON DRAWINGS.

MULCHING:
ROCK MULCH OR COBBLE SHALL BE CLEAN AND FREE OF ANY SIGNIFICANT DIRT, SOIL, OR ORGANIC MATTER THAT WILL PROMOTE WEED GROWTH. HIGH QUALITY GEOTEXTILE FABRIC, WITH EDGES OVERLAPPED AT LEAST 12", SHALL BE PLACED UNDER ALL ROCK MULCH.

ALL SHRUB BED MASSES SHALL RECEIVE 3" COMPACTED DEPTH LAYER OF BROWN SHREDDED WOOD MULCH WITH A UNIFORM TREATMENT OF PRE-EMERGENT HERBICIDE (PREEN OR EQUAL) APPLIED PRIOR TO MULCHING.

ALL PERENNIAL PLANTING BEDS SHALL RECEIVE 3" COMPACTED DEPTH LAYER OF BROWN SHREDDED WOOD MULCH WITH A UNIFORM TREATMENT OF PRE-EMERGENT HERBICIDE (PREEN OR EQUAL) APPLIED PRIOR TO MULCHING.

ALL TREES SHALL HAVE A MULCH RING (MINIMUM 48" DIAMETER) OF 4" DEEP SHREDDED HARDWOOD MULCH WITH NONE IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDED RATES UNDER ALL MULCHED AREAS INCLUDING TREE MULCH RINGS.

IRRIGATION:
VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

UNLESS SPECIFICALLY NOTED OTHERWISE, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SHOP DRAWING AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THE IRRIGATION SHOP DRAWINGS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIALS OR INSTALLATION.

THE LANDSCAPE CONTRACTOR SHALL INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

TURF OR OTHER SEEDED AREAS SHALL BE ON DIFFERENT ZONES THAN PLANTING BEDS IN ORDER TO CONTROL WATER FLOW TO DIFFERING PLANT SPECIES.

IRRIGATION TRENCHES SHALL BE ADEQUATELY COMPACTED TO AVOID SETTLEMENT IN THE FUTURE.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

SEEDING AND SODDING:
SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED PER MNDOT SPEC UNLESS OTHERWISE NOTED.

ALL SEEDED AREAS WITH SLOPES STEEPER THAN 4:1 SHALL HAVE STRAW MAT, OR OTHER SUITABLE EROSION CONTROL METHODS, IN PLACE IMMEDIATELY AFTER SEEDING.

WHERE SOD OR SEED ABUTS A PAVED SURFACE, FINISHED GRADE SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. SOD MUST BE STAKED WITH WOOD LATH OR METAL STAKES ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES.

CALENDAR OR CLIMATIC RESTRICTIONS:
THE PREFERRED SODDING WINDOW IS FROM AUGUST 15th - OCTOBER 15th. HOWEVER, SOD MAY BE INSTALLED AT ANY TIME PROVIDED ADEQUATE IRRIGATION COVERAGE IS AVAILABLE. IF NO IRRIGATION IS AVAILABLE, THE CONTRACTOR IS RESPONSIBLE FOR SUPPLEMENTAL WATERING AS NEEDED FOR SOD ESTABLISHMENT.
THE PREFERRED FALL SEEDING WINDOW, FOR SITES WITHOUT IRRIGATION, IS FROM AUGUST 15th - SEPTEMBER 15th.

DORMANT SEEDING MAY OCCUR AFTER SOIL TEMPERATURES ARE CONSISTENTLY BELOW 45 DEGREES AND SHOULD GENERALLY NOT OCCUR PRIOR TO NOVEMBER 1st.

LANDSCAPE PLANTING SHOULD GENERALLY OCCUR FROM MAY 1st - JUNE 15th OR FROM SEPTEMBER 1st - OCTOBER 15th. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED, BUT CAN OCCUR WITH PROPER CARE OF NURSERY STOCK ON SITE AND WITH AMPLE WATERING.

PLANTING SHALL NOT OCCUR IF TEMPERATURES ARE HIGHER THAN 85 F. DEGREES, OR IF WINDS EXCEED 15 MPH DURING PLANTING OPERATIONS.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15th AND JULY 1st.

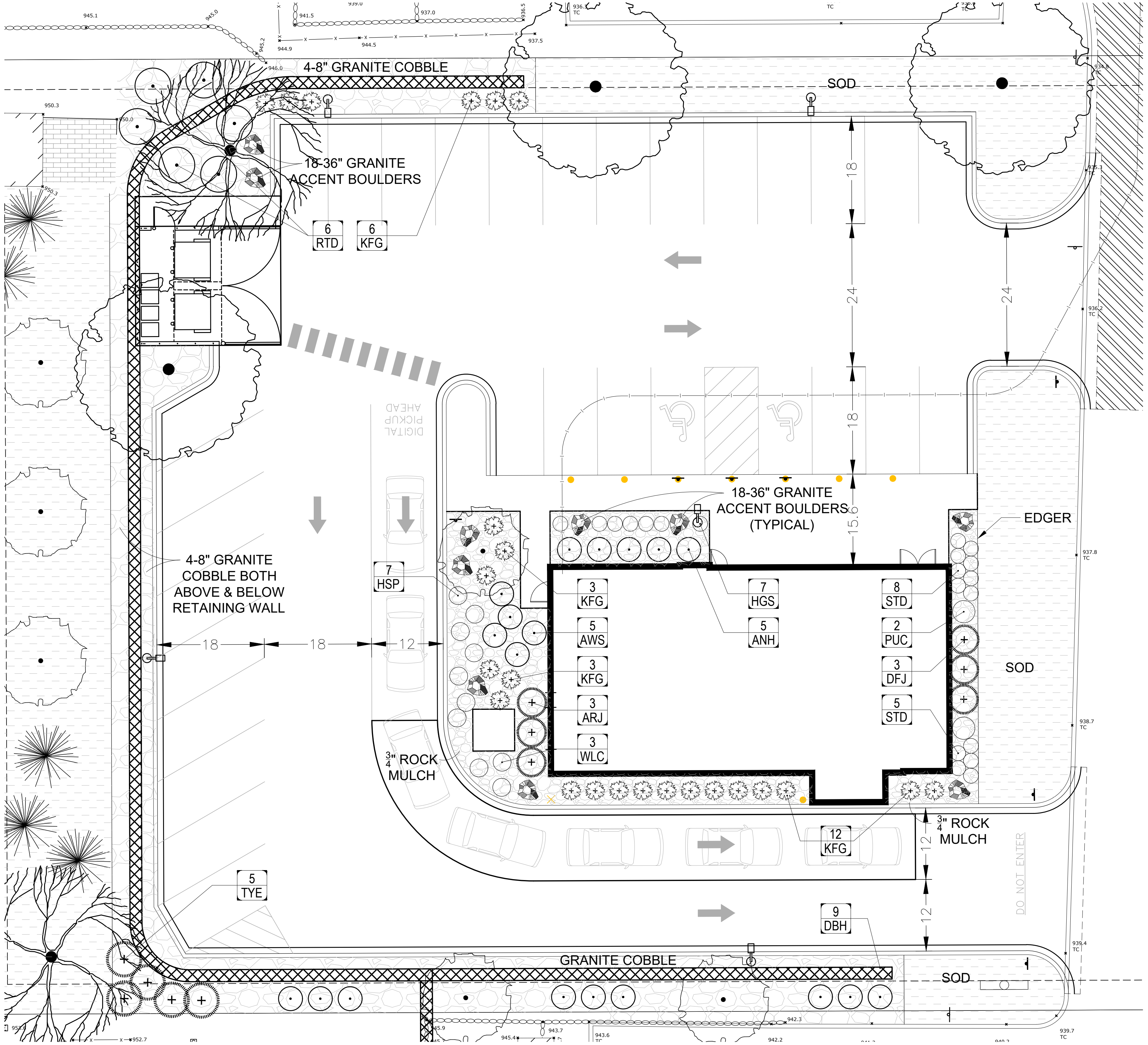
OWNER ACCEPTANCE AND WARRANTY REQUIREMENTS
THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

AT A MINIMUM, THE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE. THE WARRANTY INCLUDING AT LEAST ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. PARTIAL ACCEPTANCE WILL NOT BE CONSIDERED.

REPRODUCIBLE AS-BUILT DRAWING(S) OF ALL LANDSCAPE INSTALLATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.



GRAPHIC	MATERIAL	SPECIFICATION	NOTES
	ROCK MULCH	1.5" DIAMETER CRUSHED GRANITE ROCK MULCH OVER FILTER FABRIC	3" DEPTH
	GRANITE COBBLE	4-8" DIAMETER GRANITE COBBLE OVER FILTER FABRIC	6-8" DEPTH
	SOD	BLUEGRASS PEAT SOD ON AT LEAST 4" TOPSOIL	N/A

GROUND COVER SCHEDULE:

SHRUB & PERENNIAL PLANTING PLAN:



14165 James Road - Suite 200A
Rogers, MN 55374

Phone: 612-237-8355
www.insideoutsidearchitecture.com

Project Name:
**CHIPOTLE
RESTAURANT**

Inver Grove Heights, Minnesota

COPYRIGHT 2023 ©

This plan is copyrighted and shall be used only for the project shown and shall not be copied or reproduced without written permission from Inside Outside Architecture, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a Registered Landscape Architect under the laws of the State of Minnesota.

Name: Paul Kangas
Address: 14165 James Road, Suite 200A, Rogers, MN 55374
Phone: 612-237-8355
Email: paul@insideoutsidearchitecture.com

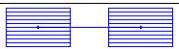
**PRELIMINARY
DRAWINGS
NOT FOR CONSTRUCTION**

Project #:	23-002
Date:	2-21-2023
Revision:	3-7-2023
Drawn By:	PK
Checked By:	PK

Sheet Title:
**SHRUB & PERENNIAL
PLANTING PLAN**

Sheet Number:

L1-2

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Lum. Lumens
	1	WP	Single	0.900	EX-LITE WPC-28W WALL MOUNT AT 8FT	28	3914
	1	AA32	Back-Back	0.900	EX-LITE SAL-100W-T3 MOUNT ON 25FT POLE WITH 3FTBASE	200	13967
	2	AA4	Single	0.900	EX-LITE SAL 100W T4 MOUNT ON 25FT POLE WITH 3FTBASE	100	13638
	2	AA3	Single	0.900	EX-LITE SAL-100W-T3 MOUNT ON 25FT POLE WITH 3FTBASE	100	13967

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE GROUND	Illuminance	Fc	1.15	13.7	0.0	N.A.	N.A.
NORTH PARKING	Illuminance	Fc	3.08	4.5	1.8	1.71	2.50
WEST PARKING	Illuminance	Fc	2.47	4.5	0.5	4.94	9.00



TYPE AA



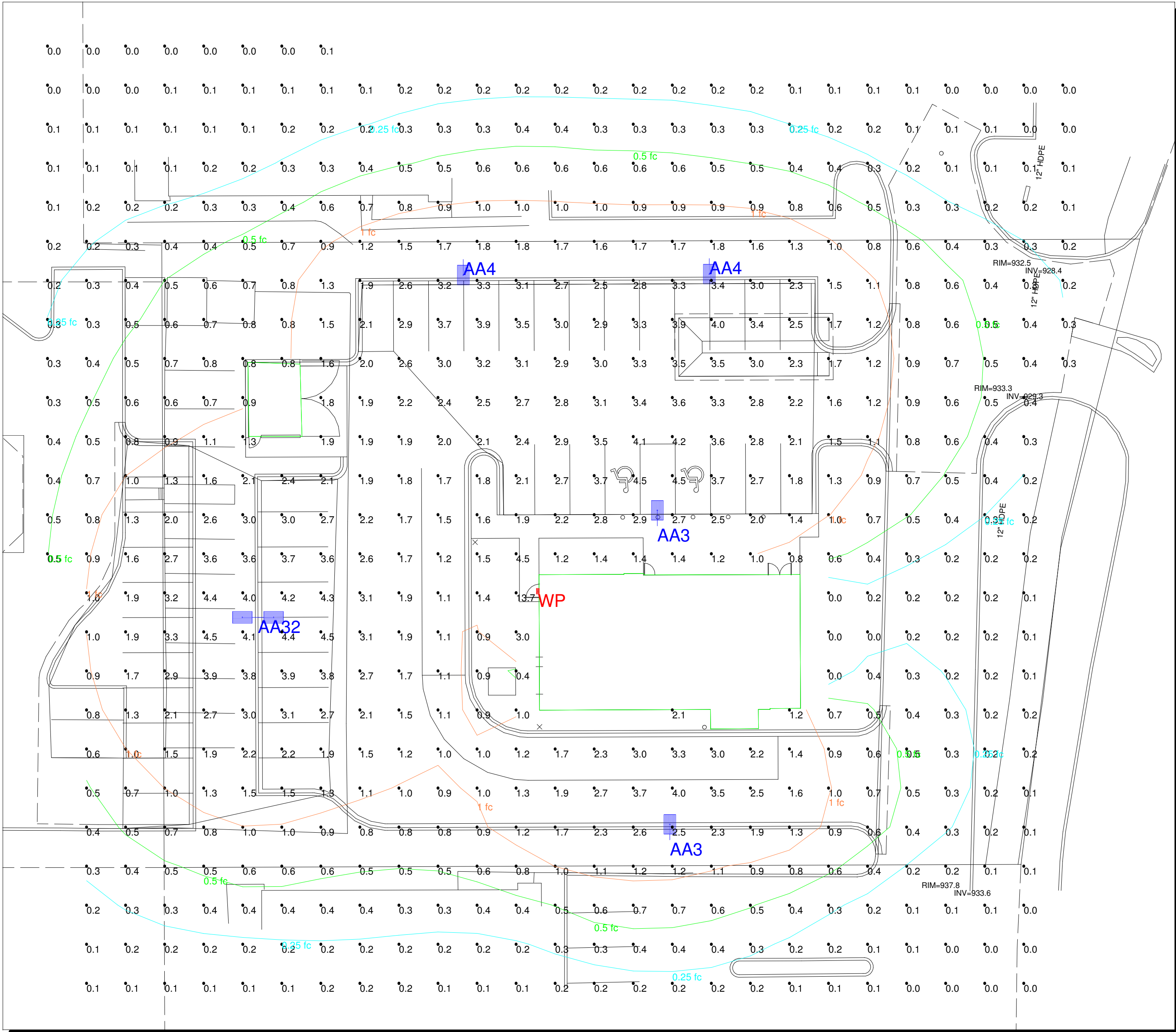
TYPE WP

GENERAL NOTES:

A. PULSE PRODUCTS DOES NOT ASSUME RESPONSIBILITY FOR THE INTERPRETATION OF THIS CALCULATION OR COMPLIANCE TO THE LOCAL, STATE, OR FEDERAL LIGHTNG CODES OR ORDINANCES.

B. LIGHTING LAYOUT IS NOT INTENDED FOR CONSTRUCTION DOCUMENTS BUT ONLY TO ILLUSTRATE THE PERFORMANCE OF THE PRODUCT.

C. ALL READINGS/CALCULATIONS SHOWN ARE SHOWN ON OBJECTS/SURFACES.



Plan View
Scale: 1 inch= 20 Ft.



#	Date	Comments
Revisions		

Drawn By: SANDY	Checked By: ROB C
Date:2/20/2023	
Scale: AS NOTED	

CHIPOTLE
INVER GROVE, MN

EXT. ELEV GENERAL NOTES

A. METAL CANOPY IS AVAILABLE FROM AMERICAN PRODUCTS, INC. (API), PHONE: (813)-925-0144, E-MAIL: BIDS@AMERICANPROD.COM

KEYNOTE LEGEND

1 EIFS

2 EIFS JOINT - REFER TO MANUFACTURER'S RECOMMENDATION FOR SPACING REQUIREMENTS.

3 24 GAUGE PREFINISHED METAL COPING

4 PREFINISHED BREAK METAL

5 THERMALLY BROKEN ANODIZED ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING - CAULK AROUND ENTIRE PERIMETER OF OPENINGS.

6 PREFINISHED METAL CANOPY.

7 VINYL BUILDING ADDRESS NUMBERS - COORDINATE REQUIREMENTS WITH AUTHORITIES HAVING JURISDICTION

8 PREFINISHED DARK BRONZE ALUMINUM PASS-THRU WINDOW WITH INTEGRATED INTERIOR AIR CURTAIN, TRANSOM AND SIDELITES - CAULK AROUND ENTIRE PERIMETER OF OPENING.

9 WALL PACK LIGHT (E3)

10 LED CHANNEL LIGHT (E4) - 126" IN TOTAL LENGTH

11 STAINLESS STEEL COW TOUNGE OVERFLOW ROOF DRAIN DISCHARGE.

12 CONCRETE SPLASH BLOCK

13 8" CONCRETE SAFETY BOLLARD

14 FROST PROOF WALL HYDRANT

15 INSULATED HOLLOW METAL DOOR AND FRAME - CAULK AROUND ENTIRE PERIMETER OF OPENING.

16 EXTERIOR EMERGENCY LIGHT (E2)

17 ELECTRICAL METER

18 ELECTRICAL FUSED DISCONNECT SWITCH

19 EXTERIOR ROOF LADDER WITH LOCKING GATE.

20 GAS METER

CONSULTANT:

WILKUS ARCHITECTS

15 Ninth Avenue North, Hopkins, MN 55343
Phone: 952.941.8660/ www.wilkusarch.com

CLIENT:

PAUL TUCCI
2C DEVELOPMENT
11985 TECHNOLOGY DRIVE,
SUITE 110
EDEN PRARIE, MN 55344

PROJECT INFORMATION:

"INVER GROVE HEIGHTS"
TENANT SHELL
BUILDING
UPPER 55TH ST & BLAINE AVE.
INVER GROVE HEIGHTS, MN

SEAL:

NOT FOR CONSTRUCTION

PROJECT NO.: 2023-0007
DRAWN BY: D. ALDERINK
CHECKED BY: TBD

ISSUE:

DATE:

ENTITLEMENT PKG

02/21/2023

REVISION:

DATE:

▲

▲

▲

▲

▲

TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A700

1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

3 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

4 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE			
FINISH	MATERIAL	COLOR	REMARKS
MTL-1	PREFINISHED METAL COPING	PPG: #1012-2 "FOG"	TO MATCH ADJACENT FINISH
MTL-2	PREFINISHED METAL COPING	PPG #1001-6 "KNIGHT'S ARMOR"	
PT-1	PAINT	PPG #1010-2 "FOG"	SATIN FINISH
PT-2	PAINT	PPG #1001-6 "KNIGHT'S ARMOR"	SATIN FINISH



Planning Commission Report

MEETING DATE:	March 21, 2023
CASE NO:	23-07CZA
APPLICANT:	Paws Abilities Dog Training
PROPERTY OWNER:	6495 Cahill Ave, LLC
REQUEST:	Zoning Code Amendment and Conditional Use Permit
LOCATION:	6475 Cahill Ave
COMPREHENSIVE PLAN:	MU, Mixed Use
ZONING:	B-3, General Business
STAFF CONTACT:	Heather Botten, 651.450.2569

ACTION REQUESTED

The applicant is requesting the following:

- A **Zoning Code Amendment** to Sections 10-2-2 Definitions and 10-6-2 Land Use Table, adding the definition and land use dog training business.
- A **Conditional Use Permit** to allow a dog training facility to be operated out of an existing commercial building.

BACKGROUND

The applicant is requesting to operate dog training business within an existing multi-tenant, commercial building. Currently, city code does not address dog training businesses, therefore it is not a permitted use in IGH.

The property that the applicant is proposing to utilize is a multi-tenant site located at the northwest corner of 65th Street and Cahill Avenue. The site is 0.89 acres in size. The current tenants include Bike King, J's Fish and Chicken, and Little Caesars Pizza. The dog training facility would lease the northern half of the building.

The applicant, Paws Abilities Dog Training, offers dog training, consultation, and educational services to the Inver Grove Heights community, as well as clients throughout the Twin Cities metropolitan area. Training services at the location will consist primarily of group training classes and programs (enrollment for these services is generally limited to no more than six dogs), as well as private training and consultation sessions. There would not be any boarding services. The applicant has stated that their peak hours would be in the evening and weekends.

The applicant has strict policies regarding excessive barking/noise. They make every effort to ensure that any dogs with intense barking are removed from the site in order to reduce the negative impact upon neighboring properties, but also to reduce potential harm to the dog. In addition to these

policies, several features of the specific property should reduce the impact that noise may have on neighboring properties, including:

- (i) the site is an end-cap unit with only one adjoining unit in the building-which is separated from the site with a concrete-block fire wall;
- (ii) the main area of the building already has a suspended, acoustical ceiling; and
- (iii) rubberized flooring within the main area would be installed.

EVALUATION OF REQUEST

Surrounding Uses: The following land uses, zoning districts, and comprehensive plan designations surround the subject property:

North	Pond; zoned PUD; guided MDR, Medium Density Residential
West	Apartments; zoned PUD, guided MU, Mixed Use
South	Bank; zoned B-2, Neighborhood Business; guided MU, Mixed Use
East	Gas station; zoned B-2, Neighborhood Business; guided MU, Mixed Use

SITE PLAN REVIEW

Setbacks. There are no building additions or changes to the exterior proposed at this time.

Parking Lot. Parking requirements for the proposed use are not specified in the zoning code. Staff calculated the minimum number of parking stalls necessary for the dog training facility based on the maximum number of employees at one time in the building along with the average class size held at one time. Based on discussions with the applicant, two (2) classes could overlap with an average of six (6) handlers in each class along with a maximum of three (3) employees. Staff reviewed parking based on fifteen (15) required spaces for the proposed use. The existing tenants require a minimum parking requirement of three (3) spaces for J's Fish and Chicken, two (2) spaces for Little Caesars and fifteen (15) spaces for Bike King. The existing parking lot of thirty-five (35) spaces would meet the minimum parking requirements of the city.

Access. Access to the site is not changing; there is one access point off 65th Street and another off of Cahill Avenue.

Lighting. There are no changes proposed to the existing site lighting.

Signage. Signage is not approved as part of the Conditional Use Permit request. Signage on the property shall follow Section 10-15E of the City Code. A building permit is required for any new signs or changes to the existing signs.

Building and Fire Review. The Fire Marshall and Building Official would review the use to be in compliance with fire and building codes prior to the Certificate of Occupancy.

Engineering. Engineering has reviewed the plans. There is no additional impervious surface being added and no changes being made to the existing parking lot. Engineering takes no exception to the request.

Conditional Use Permit (CUP)

This section reviews the plans against the CUP criteria in the Zoning Ordinance (Section 10-3A).

1. The use is consistent with the goals, policies and plans of the City Comprehensive Plan, including future land uses, utilities, streets and parks.

The use is consistent with the goals, policies, and plans of the 2040 Comprehensive Plan. The future land use of this parcel is mixed use and service types of uses are consistent with the uses envisioned in this district.

2. The use is consistent with the City Code, especially the Zoning Ordinance and the intent of the specific Zoning District in which the use is located.

This standard would be met. The General Business district is intended for large scale services and retail sales serving the region. Staff believe a dog training facility is a type of use intended to be located in the B-3 zoning district.

3. The use would not be materially injurious to existing or planned properties or improvements in the vicinity.

This standard would be met. The proposed use will not create any adverse physical impacts upon the neighborhood. There will not be any changes to the existing or surrounding properties.

4. The use does not have an undue adverse impact on existing or planned City facilities and services, including streets, utilities, parks, police and fire, and the reasonable ability of the City to provide such services in an orderly, timely manner.

The proposed request does not appear to have any negative effects on city facilities or services. The City Fire Marshal and Building Official would review and approve plans for code compliance prior to any occupancy permits for the use.

5. The use is generally compatible with existing and future uses of surrounding properties, including:

a. Aesthetics/exterior appearance.

There are no exterior changes proposed to the site.

b. Noise.

The potential noise impact of barking could be a factor for the abutting businesses. The applicant stated there is a concrete block fire wall between the businesses. They will also be installing rubber floor mats that will help absorb sound.

c. Traffic.

The peak hours for the dog training facility would be during the evenings and weekends. There are two existing access points along two different road customers could use, if one gets backed up the other would be available to use.

d. Drainage.

No additional impervious surface is proposed; this condition is met.

e. Fencing, landscaping and buffering

Not applicable.

6. The property is appropriate for the use, considering: size and shape; topography, vegetation, and other natural and physical features; access, traffic volumes and flows; utilities; parking; setbacks; lot coverage and other zoning requirements; emergency access, fire lanes, hydrants, and other fire and building code requirements.

The applicants would be utilizing the northern portion of an existing building. No additions are proposed at this time. The Fire Marshall and Building Official would be reviewing the site to be in compliance with fire and building codes.

7. *The use does not have an undue adverse impact on public health, safety or welfare.*

Staff is not aware of any public health, safety or welfare issues associated with the proposal.

8. *The use does not have an undue adverse impact on the environment, including, but not limited to, surface water, groundwater and air quality.*

Outdoor areas shall be maintained in a clean and sanitary condition at all times. Solid waste material shall be removed daily and disposed of in dedicated waste containers and in a sanitary manner.

PROPOSED ORDINANCE LANGUAGE

10-2-2 Definitions

DOG TRAINING FACILITY: An indoor training facility which is maintained as a business where dogs are trained. Overnight boarding of dogs shall not be permitted.

10-6-2 Land Uses in all nonresidential districts

Use	Zoning District											
	B-1	B-2	B-3	B-4	OP	I-1	IOP	I-2	P	MU-PUD	COMM-PUD	OFFICE-PUD
<u>Dog Training Facility</u>			<u>C</u>									

ALTERNATIVES

The Planning Commission has the following actions available for the proposed request:

A. Approval. If the Planning Commission finds the application acceptable, the Commission should make the following recommendations:

- Approval of the Zoning Code Amendment to Sections 10-2-2 Definitions and 10-6-2 Land Use Table, adding the definition and land use dog training business.
- Approval of the Conditional Use Permit to allow a Dog Training Facility subject to the following conditions:
 1. All parking/drive aisles areas shall be properly marked and follow all fire and building code requirements.
 2. The applicant must apply for and obtain a building permit for any signage or building improvements.
 3. Operation of a new business may not commence until an Occupancy Permit is obtained from the City Inspections Department.
 4. Outdoor areas shall be maintained in a clean and sanitary condition at all times. Solid waste material shall be removed daily and disposed of in dedicated waste containers and in a sanitary manner.
 5. Designated outdoor areas for dogs shall not include the right-of-way.
 6. Dogs shall be on a leash not greater than sixteen feet (16') and always handled by an owner or employee when outside the building.
 7. The City Code Enforcement Officer, or other designee, shall be granted right of access to the property at all reasonable times to ensure compliance with the conditions of this permit.

B. Denial. If the Planning Commission does not find it necessary to modify the existing code language or does not support the Conditional Use Permit application, the Commission could recommend denial of the proposed requests. With a recommendation for denial, findings or the basis for the denial should be given.

RECOMMENDATION

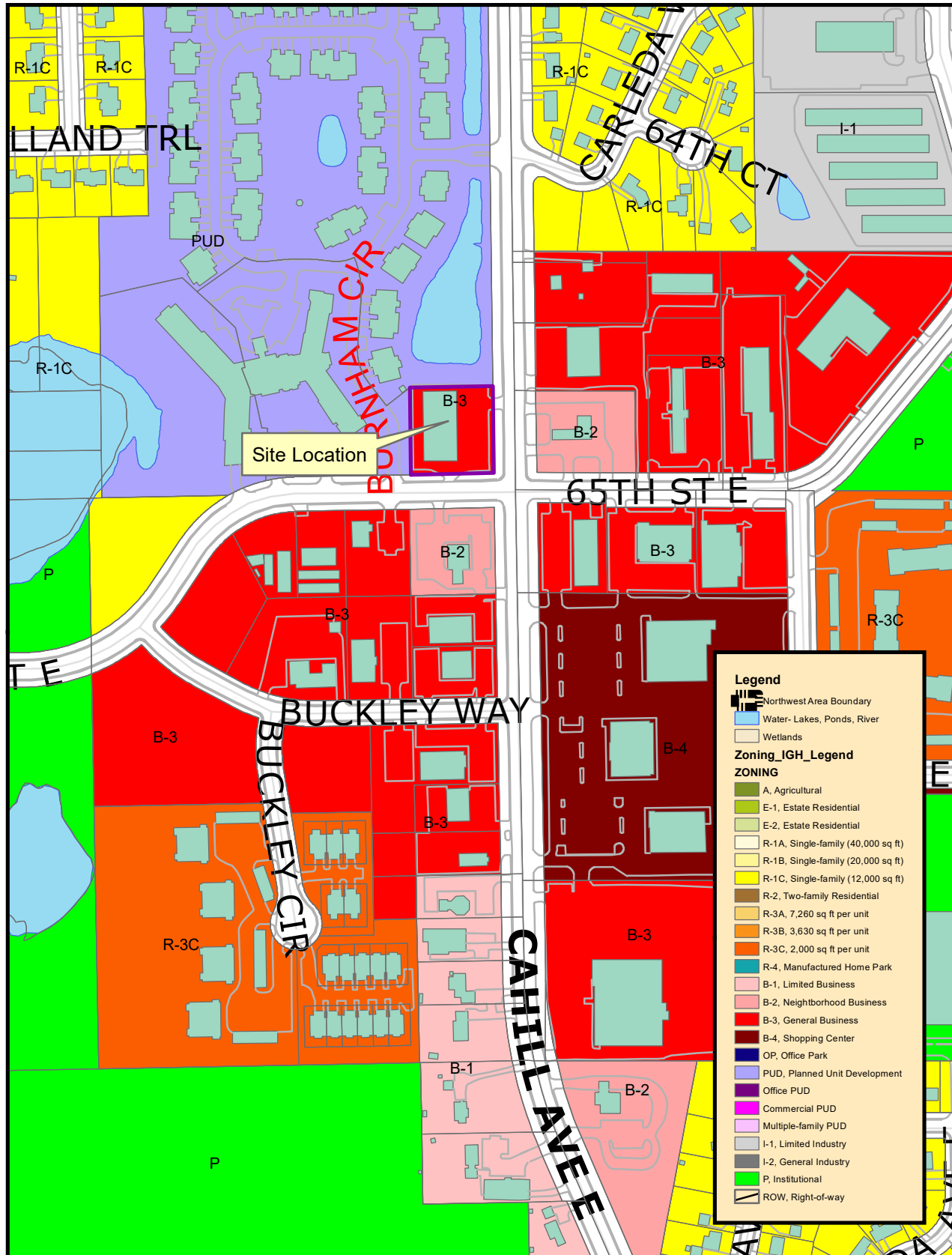
Based on the information in the preceding report and the conditions listed in Alternative A, staff is recommending approval of the Zoning Code Amendment and Conditional Use Permit as presented.

ATTACHMENTS

1. Zoning and Location Map
2. Narrative
3. Site Plan



6475 Cahill Avenue Case No. 23-07CZA



THIS DRAWING IS NEITHER A LEGALLY RECORDED MAP NOR A SURVEY AND IS NOT INTENDED TO BE USED AS ONE. THIS DRAWING IS A COMPILATION OF RECORDS, INFORMATION AND DATA LOCATED IN VARIOUS CITY, COUNTY AND STATE OFFICES AND OTHER SOURCES AND IS TO BE USED FOR REFERENCE PURPOSES ONLY. THE CITY OF INVER GROVE HEIGHTS IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

Map produced by the City of Inver Grove Heights GIS Dept.
Copyright© City of Inver Grove Heights 2020



Exhibit A
Zoning and Location Map

Map not to scale

DESCRIPTION OF REQUEST – ZONING AMENDMENT

Applicant, Paws Abilities Dog Training, LLC, seeks an amendment to the City's zoning code to allow for the operation of a dog training business within the B-3 zoning district.

DESCRIPTION OF REQUEST – CONDITIONAL USE PERMIT

To the extent the above-described amendment is approved, and such use is designated as a conditional use, Applicant seeks a conditional use permit to allow for the operation of a dog training business at 6475 Cahill Ave East (the "Site").

- Background of Business

Paws Abilities Dog Training was founded in 1999 and was the first dog training company to bring reward-based training techniques to the southeast Minnesota area. We currently offer group training classes, private lessons, behavior consultations, structured puppy training camp programs, educational and community events, and other services through our Oronoco and Eagan locations, in-home private training and consultations, as well as selection of online training courses and events.

We are a premier source for animal behavior. We have been hired to present on dog safety for law enforcement, electrical lineworkers, dog daycare staff, dog groomers, veterinarians, veterinary technicians, and meter readers. Paws Abilities is well respected by the local pet professional community, many individuals of which frequently attend professional continuing education through our services. In fact, 51% of our new customers are referred to us by their veterinarians, shelters, rescues, breeders, groomers, dog walkers or other pet professionals. Another 11% of the new dogs who come to our business are owned by pet owners who previously used our services with another dog. We also mentor new trainers through Animal Behavior College, Victoria Stilwell Academy, and the CATCH Dog Training program, and offer a free apprenticeship program to aspiring trainers who may otherwise experience barriers to entry in the field.

Paws Abilities currently has twenty-six professional trainers, five apprentice trainers, eight administrative/support staff, and five training assistants (who are working towards becoming apprentice trainers). We currently have one paid mentee through the Animal Behavior College, and recently graduated two mentees from the CATCH Dog Training program.

- Training Policies and Techniques

We believe in helping people enjoy their dogs through training and behavior modification, with an emphasis on scientifically valid and proven techniques. Our trainers keep up-to-date on the latest research, and the majority are members of professional organizations such as the Association for Professional Dog Trainers and the International Association of Animal Behavior Consultants. Our trainers utilize the most effective reward-based and motivational techniques available, and are current on the best adult learning trends to help clients teach their dogs.

We subscribe to a LIMA (Least Intrusive, Minimally Aversive) approach for all our learners, of all species. This means that we will always choose the easiest, kindest, most effective, and efficient teaching possible for any given situation.

For our human learners, this includes making sure that we fully understand their concerns, provide a welcoming space in which to ask questions and try new things, and support them throughout their pet's life.

- We use kind words, with no shame or judgment.
- We make warm connections with each learner.
- We adjust our teaching style for each individual learner to help achieve success.
- We are a family-friendly, disability-friendly, LGBTQ+-friendly, BIPOC-friendly, and neurodivergent-friendly company.
- We provide equity for all people in both our services and our messages.

For our animal learners, this includes making sure that we provide the opportunity to engage in species-appropriate behavior, ensure that their needs are being met prior to beginning any training intervention, and strive to eliminate uncertainty by providing clear, effective, reward-based training.

- We use gentle, motivational methods to encourage the desired behaviors.
- We use interruption, redirection, and training of alternative behaviors to decrease unwanted behaviors.
- We adjust our training for every pet based on his or her unique temperament and situation.
- We work with all breeds and backgrounds, and take the time to understand each pet as an individual.

We follow the Humane Hierarchy (a decision flow-chart that's considered the "gold standard" in the profession) in all training interventions. We do not use or promote tools or training methods that rely on shaming, fear, discomfort, or pain. We use the same kindness and reward-based teaching methods with our human learners as we extend to their pets.

- *Site Description*

The Site is approximately 6225 ft², consisting of a main open area of approximately 5225 ft² and a warehouse/office area of approximately 1000 ft².

We are not proposing any interior or exterior structural modifications to the Site as part of these requests. At this time, the only material modifications that would be completed would consist of rubberized flooring in the main area (for safety and noise mitigation), cosmetic alterations to align with branding (e.g., paint), and minor repairs of existing elements (as needed). We would follow permit requirements with respect to any building or pylon signage as part of a future request.

The Site is contained within an existing building (the "Building") located on the Northwest corner of Cahill Avenue East and 65th Street East (the "Property"). The Site represents approximately 50% of the total floor area of the Building, with the remaining area occupied by a bike shop, a take-out pizza restaurant, and a chicken and fish restaurant with limited indoor seating. The

Property includes a common parking area providing 35 marked parking spaces (including 3 accessible spaces). On-street parking is also available on 65th Street East.

The Property has grass-covered medians (with sidewalks) along the length of the Property abutting Cahill Avenue East and 65th Street East, as well as strips of grass along the North and West property line.

- *Operational Summary*

Paws Abilities proposes to use the Site to offer its training, consultation, and educational services (as described above) to the Inver Grove Heights community, as well as its client base throughout Twin Cities metropolitan area. For many years, Paws Abilities has been a “destination” service in our communities, with people often traveling an hour or more to come to our classes and events.

Training services at the location will consist primarily of group training classes and programs (enrollment for these services is generally limited to no more than six (6) dogs), as well as private training and consultation sessions (which are generally limited to one (1) dog). For avoidance of doubt, we do not currently provide (and have no intention to provide at the Site) boarding services (Commercial Kennel, Daycare as used in the City’s code). With limited exception, we anticipate that no more than fifteen (15) dogs will be on the Site at any one time. Based upon these estimates, we expect to use fewer than eighteen (18) of the Property’s thirty-five (35) parking spots in most circumstances.

While our business is not seasonal and remains fairly consistent throughout the year, the highest demand for our services typically arises in the evenings and on weekends.

We provide at least fifteen (15) minutes between the end of one training class and the start of the next. This practice promotes safety by allowing additional time for learners and dogs to enter and exit the Site, reduces the chance that incoming and outgoing groups will be forced into close proximity, lessens the parking burden, and supports the general sanity of our training staff.

The Property provides adequate green space to allow for the safe and convenient toileting of dogs. The green space at the Property is comparable to the green space at our Eagan location, which has been adequate for our needs. In an effort to maintain the appearance and overall cleanliness of green space (i) we post clear policies requiring owners to clean up after their dogs, (ii) provide clean up supplies and disposal containers (which are checked/emptied daily), and (iii) require training staff to inspect (and clean, if necessary) green space daily.

We make every effort to respect the ability of our neighbors to enjoy their property. We maintain vaccination records on file for all dogs who enter our premises, as well as collecting written behavioral surveys on each new dog who will be attending a class or private training lesson, as a requirement for our insurance. We post and abide by strict safety policies regarding aggression. For the safety of the community and our training staff, we do not permit dogs that show demonstrable signs of aggression, or which have been designated by any government authority as “dangerous” (or similar classification) to participate in any regular group training classes.

We also enforce strict policies regarding excessive barking/noise. We make every effort to ensure that any dog experiencing high levels of stress, fear, and/or anxiety (which typically manifests as intense barking) is removed from the Site in order to reduce the negative impact upon neighboring properties, but also to reduce causing potential harm to the dog. In addition to these policies, several features of the Site should reduce the impact that noise within the Site will have on neighboring properties, including: (i) the Site is an end-cap unit with only one adjoining unit in the Building—which is separated from the Site with a concrete-block fire wall, (ii) the main area of the building already has a suspended, acoustical ceiling, and (iii) we will be installing a rubberized flooring within the main area.

- *Closing*

Paws Abilities Dog Training believes its request for a modification to the zoning ordinances and a conditional use permit for the Site as described above (i) is consistent with the goals, policies, and plans of the City Comprehensive Plan, (ii) is consistent with the intent of the B-3 zoning district, (iii) is compatible with the use of, and would not be materially injurious to, surrounding properties, and (iv) imposes no undue burden or impediment on City facilities and services. We believe that the addition of a dog training facility will likely have a positive impact on the local community, both in bringing additional business to our neighbors, and in providing safe, fun, family-friendly entertainment in the form of enjoyable classes such as scent work and fun tricks. As such, Paws Abilities seeks approval of its requests set forth herein.

SITE PLAN

Cahill Avenue Retail
Inver Grove Heights, MN

